 Reigate & Banstead BOROUGH COUNCIL Banstead Horley Redhill Reigate	TO:	PLANNING COMMITTEE
	DATE:	16 th May 2018
	REPORT OF:	HEAD OF PLACES & PLANNING
	AUTHOR:	Billy Clements
	TELEPHONE:	01737 276087
	EMAIL:	billy.clements@reigate-banstead.gov.uk
AGENDA ITEM:	7a and 7b	WARD: Meadvale and St Johns

APPLICATION NUMBER:	7a. 18/00326/F 7b. 18/00327/LBC	VALID:	(A) 6 February 2018 (B) 6 February 2018
APPLICANT:	United Church Schools Trust	AGENT:	Miller Bourne Architects & HW Planning Ltd
LOCATION:	DUNOTTAR SCHOOL, 36 HIGH TREES ROAD, REIGATE		
DESCRIPTION:	Series of phased developments at Dunottar School comprising a new sixth form centre and refurbishment of the stable block and pelican centre (phase 1), and a new assembly & exam hall, classrooms and orangery (phase 2). Prior to the commencement of phase 2 two existing temporary classrooms be removed. Associated external works.		
All plans in this report have been reproduced, are not to scale, and are for illustrative purposes only. The original plans should be viewed/referenced for detail.			

SUMMARY

This report covers the full and listed building consent applications for the proposed development at Dunottar School to create a new sixth form centre, new assembly hall, classrooms and dining room extension with various associated refurbishment and external works.

The site is designated as Urban Open Land (UOL) and the proposals would involve the erection of new buildings thereon. Whilst policy Pc6 normally resists development on Urban Open Land, it does allow for ancillary buildings and extension to existing buildings subject to consideration of the impact which the proposals would have on the contribution the UOL makes to visual amenity and the functioning of any essential social, community or educational use. In this case, it is considered that – given the location of the sites and nature of development proposed – there would not be any harm to visual amenity and the proposals would actually support rather than conflict with the educational use. On this basis, there is not felt to be any conflict with the UOL policy.

The proposals are considered to be well-designed and sympathetic to the Grade II listing of Dunottar and the historic garden designation. The Assembly Hall would be more discretely located and has been designed to follow the conventions of the buildings around it in terms of height and massing, with appropriate detailing and architectural interest on

the more prominent southern elevation. The new Sixth Form Centre would be more prominently located on the gardens to the front of listed mansion; however, its more contemporary low profile design with extensive glazing is an appropriate design response and – together with the new and proposed landscaping – is considered to ensure that this extension would not appear unduly prominent or disruptive to the approach to the mansion.

The proposals have been considered in detail by both the Conservation Officer and the Tree Officer, both of whom raise no objection in respect of the impact on the historic or arboricultural interest on the site subject to conditions.

With respect to highways and parking, the school is subject to a long-standing cap on pupil numbers (460) and there is no proposal to change or increase this in the current application. The current proposals would not therefore lead to an increase in pupils and thus travel over and above what could already occur at present, albeit it is recognised that there may be some change in demographic of the school. As a consequence, it is proposed to secure – through condition – a School Travel Plan which would be required to include specific targets for reducing single occupancy car travel to the school and specific improvements to school bus provision. With this condition, the County Highway Authority has raised no objection to the proposals. Local concerns regarding the impact of non-school use of facilities on the site are recognised and a management plan to control this is proposed to be secured by condition. Whilst sympathetic to concerns regarding injudicious parking by parents, etc. at pick-up and drop-off times, such issues are matters of highway enforcement and not planning, particularly as the County Highway Authority has not raised any highway safety concerns.

RECOMMENDATION

7a – 18/00326/F - Planning permission is **GRANTED** subject to conditions.

7b – 18/00327/LBC – Listed Building Consent is **GRANTED** subject to conditions.

Consultations:

County Highway Authority (18/00326/F): No objection subject to conditions. Comments summarised below:

The developer is not proposing to allow site personal to park within the site. I have no objection to parking taking place on the highway so long as it is carried out in accordance with highway safety and road markings, as indicated in the submitted Construction Management Plan. The developer is also proposing to prevent vehicles arriving before and after the school shuts, according to the submitted Construction Management Plan

The developer has not provided targets for children arriving at the school with their parents in otherwise "single occupancy" vehicles. The travel plan does not include remedial measures should the travel plan targets be missed. These omissions should be provided in the revised travel plan.

Tree Officer (18/00326/F): No objection subject to conditions. Detailed comments as follows:

Both myself and John McInally held a pre application meeting at the site...the on-site meeting provided an opportunity for all parties to discuss the effects of the development and the mitigation measures to ensure that no lasting harm to existing retained trees, shrubbery, or adverse effect on the historic garden would occur as a result of the proposed development if approved. Whilst some trees and low level shrubbery would be lost to the proposal they are mainly lower quality trees of internal landscape value only. We also held positive discussions on the mitigation measures that would be required to address the loss of trees and shrubbery.

The arboricultural information as supplied in the form of an arboricultural impact assessment (AIA), arboricultural method Statement (AMS) and tree protection plans (TPPs) are as expected from the consultancy practice and is thorough in detail and compiled in accordance with the current British Standard 5837 and other relevant standards and research.

The tree protection measures would subject to qualified supervision and monitoring by the retained arboricultural consultant, avoid any long lasting damage or adverse effects on retained trees and shrubbery; trees and shrubbery lost can be adequately mitigated by a considered and meaningful landscape strategy, which has been dealt with as a separate set of documents.

In some circumstances areas of existing hard landscape will be returned to soft landscape areas and compacted soils from concentrated traffic movement within the site will be subject to remedial works to provide improvements to the soil structure and rooting environments.

Conservation Officer (18/00326/F and 18/00327/LBC): No objection subject to conditions, comments as follows:

Dunottar School is a grade II listed building, built in 1867, located in a locally listed garden set out at the same time. The proposals were subject to pre application discussions and I

have no objection in principle but have identified a couple of issues where further information is required or revisions to details such as fenestration are needed.

There will be a need to condition the completion of the improvements of the landscaping, car park and coach house south west wing elevations before occupation of the buildings or similar wording.

[Note that the revisions to details and additional information requested by the Conservation Officer have been secured and are considered acceptable.]

Historic England (18/00326/F and 18/00327/LBC): No comments – seek view of local specialist conservation and archaeological advisers as relevant.

UK Power Networks (18/00326/F): no objection but notes that the scheme is very close to UKPN cables supplying the school (an informative will be added).

Environmental Health – Contaminated Land (18/00326/F): Recommends conditions in relation to asbestos and unexpected ground contamination.

Representations:

Letters were sent to neighbouring properties on 27th February 2018 in respect of the listed building consent application and on 3rd March 2018 in respect of the full planning application.

Site notices were posted in respect of both applications on 7th March 2018. The LBC application was advertised in the local press on 8th March and the full application on 15th March 2018. 17 responses were received raising the following issues:

Issue	Response
Out of character with the surrounding area	Paragraphs 6.10 to 6.18 and conditions 9, 10 and 11
Hazard to highway safety	Paragraphs 6.19 – 6.26 and conditions 6, 8, 13, 14 and 16
Inadequate parking	Paragraphs 6.19 – 6.26 and conditions 13, 14 and 16
Increase in traffic and congestion	Paragraphs 6.19 – 6.26 and conditions 13, 14 and 16
Inconvenience during construction	Paragraph 6.26 and conditions 6 and 8
Noise and disturbance	Paragraph 6.26
Health fears	Paragraph 6.39
Loss of/harm to trees	Paragraphs 6.31 to 6.34 and conditions 4 and 11
Overdevelopment	Paragraph 6.38
Overbearing relationship	Paragraphs 6.27 to 6.28

Harm to Conservation Area	Paragraph 6.39
No need for development	Paragraphs 6.7 to 6.8
Property devaluation	Not a material planning consideration

One response specifically supporting the proposals but expressing concerns regarding congestion and identifying the need for this issue to be addressed was also received.

1.0 Site and Character Appraisal

- 1.1 The application site comprises the site and grounds of Dunottar School. Dunottar itself is a Grade II listed building with a locally listed garden. The listing also incorporates the stable block and water tower. The design for the gardens was drawn up in 1864 (in the style of Edward Kemp). The school site has developed and evolved over the years, with a number of extensions and additional buildings added – particularly on the eastern part of the site.
- 1.2 The two main sites proposed for new development are adjacent to the Grade II listed buildings (the Phase 1 site being in the frontage of the main mansion building and the Phase 2 site being adjacent to the stable block/water tower). The entirety of the school grounds are also designated as Urban Open Land in the 2005 Local Plan.
- 1.3 There is significant arboricultural interest across the site, including an area order TPOs (RE13) which covers the northern and southern parts of the site. The gardens to the north of the mansion building incorporate an avenue which consists of a number of specimen and rare trees. Much of the southern part of the site comprises of dense woodland of typically more common species set on a very steep slope.
- 1.4 The site is within the urban area and the wider locality is characterised almost exclusively by low density detached properties in generous plots. The High Trees Road Residential Area of Special Character borders the northern part of the school.

2.0 Added Value

- 2.1 Improvements secured at the pre-application stage: Pre-application advice was sought on two occasions prior to submission. Detailed advice was given regarding the size, scale and design of extensions, particularly Phase 1 in order to respect the sensitivities of the listed building and gardens and refinements were made to the proposals as a result. Advice was also given regarding the need to address landscaping, trees and car parking.
- 2.2 Improvements secured during the course of the application: Improvements to design details and additional information regarding the landscaping proposals were sought and secured.
- 2.3 Further improvements could be secured: Conditions are proposed to control landscaping, materials and other improvements as well as ensuring the restoration and maintenance of the listed coach house and improvements to landscaping are secured and implemented in full accordance with details to be provided. A revised,

finalised Travel Plan and compliance with the measures therein will also be secured through condition. A management plan to control non-school use of the proposed facilities (notably the Assembly Hall) is also proposed.

3.0 Relevant Planning and Enforcement History

3.1 There is extensive planning history associated with the use and development of the site as a school, including various tree works. The most substantive elements of the history are set out below:

3.2	89/13460/F	Demolition of existing single storey physics laboratory and construction of new two storey building adjoining present assembly hall and tower comprising 2 no preparation rooms and 4 no science laboratories	Approved 3 rd January 1990
	95/14240/F	New classroom building containing eight classrooms with ancillary accommodation and the provision of three temporary accesses	Approved with Conditions 21 st February 1996
	97/06540/F	Extension to existing car park.	Approved with Conditions 16 th July 1997
	00/52622/F	Erection of multi-purpose sports hall/gym with ancillary changing, shower lavatory accomm, office, plan room & equip store.	Approved with Conditions 6 th July 2001
	02/01048/F	Re-grading and lowering of existing sports field	Approved with Conditions 5 th August 2002
	05/00516/F	Renewal of planning permission ref. 97P/0575 for temporary classroom buildings for six years.	Approved with Conditions 28 th April 2005
	11/00589/F	Existing temporary classrooms. Renewal of planning permission ref. P/05/00516/F after expiry on 28 April 2011	Approved with Conditions 17 th June 2011
	14/00996/F	Amended description: replacement of existing fenced tennis/netball court (court 3) with a new multi-use games area (MUGA).	Withdrawn by Applicant 10 th February 2017

3.3 The permission granted under 95/14240/F was for a new classroom building was subject to a condition (number 11) restricting the number of children attending Dunottar School at any one time to 460. This condition remains in force but shall be re-applied for clarity.

4.0 Proposal and Design Approach

4.1 The proposed development seeks planning permission and separately listed building consent for two phases of development to create new classroom, assembly, dining and sixth form facilities for the school.

- 4.2 Phase 1 comprises the erection of a new single storey sixth form centre building adjacent to the “Pelican Block”. The extension would have a low profile, flat roof form and be of a more contemporary design with a predominance of glazing to the elevations. Associated internal reconfiguration and refurbishment of the “Pelican Block” and stable block would also be carried to provide improved classroom spaces. Features of the listed stable block would also be restored.
- 4.3 Phase 2 comprises the erection of a larger two storey building, situated between the current science block and the Sports Hall. This building would be of more traditional design and detailing, with pitched roof following that of the main school buildings, and would provide a new Assembly Hall and additional classrooms. A separate additional single storey extension to the existing dining hall is also proposed.
- 4.4 Landscaping works would be carried out as part of both phases, including removal of the existing temporary classrooms which presently exist to the south of the Sports Hall. Measures to address the configuration and landscaping of the main car park are also proposed.
- 4.5 A design and access statement should illustrate the process that has led to the development proposal, and justify the proposal in a structured way, by demonstrating the steps taken to appraise the context of the proposed development. It expects applicants to follow a four-stage design process comprising:
Assessment;
Involvement;
Evaluation; and
Design.
- 4.6 Evidence of the applicant’s design approach is set out below:

Assessment	<p>Dunottar School is set on the southern side of High Trees Road at the top of Ringley Park Road to the south-east of Reigate town centre. The main school building comprises a Grade II Listed, Palladian style mansion set in 15 acres of grounds. The listed also includes the stable block and water tower. The southern part of the site, which is set down from the element on which the school buildings are set, includes a large area of dense woodland. The upper element of the site comprises the more formally laid out gardens with a number of specimen trees. The whole of the grounds of the school are designated as Urban Open Land. The site lies adjacent to, but outside, the Residential Area of Special Character. This designation comprises large detached dwellings typically set in spacious and well landscaped gardens, where the landscaping is dominant over built form.</p>
	<p>Preservation of the listed buildings and retention of key landscape features and trees. The heritage considerations, including the Grade II listed buildings and historic gardens, are the key constraints determining the layout, form and design of</p>

	development.
Involvement	The Design Statement identifies the pre-application engagement undertaken with the Council and the response to the issues raised. The applicant also sought views from parents of children at the school and an open event was held on 19 th January for local residents. Comments were generally positive regarding design; however, the main concerns related to traffic congestion and parking.
Evaluation	The Planning Statement has explained how the development has evolved through the pre-application discussions, including design development.
Design	The design seeks to respond to the needs of the school for additional accommodation and the constraints of the site. The proposals seek to make use of existing buildings through refurbishment and reconfiguration but also provide new buildings on the limited areas where new buildings are considered appropriate. The scale of the new assembly hall has been led by the need to respect the height and scale of the adjacent Waterlow building and the existing science labs. The new 6 th Form Centre has been designed to be subservient to the existing buildings to limit any impact on the setting of the Listed Buildings. It is set into the ground and designed with a low profile to help assimilate the building into the landscape. Improvements to the parking area and refurbishment of some of the existing buildings, including the stable block, are design to return the building back to something akin to its former appearance.

4.7 Further details of the development are as follows:

Site area	1.1ha (area of development)
Existing use	School
Proposed use	School
Net increase in floorspace	6 th Form Centre: 213sqm Assembly building: 666sqm Orangery: 51sqm
Parking provision	51 spaces plus 3 minibus spaces (reconfigured but no overall change)

5.0 Policy Context

5.1 Designation

Urban area
Urban Open Land
Grade II listed building – Dunottar (inc. stable block and water tower)

Historic garden
Tree Preservation Order REI3

5.2 Reigate and Banstead Core Strategy

CS1 (Presumption in favour of sustainable development)
CS4 (Valued townscapes and historic environment)
CS5 (Valued people/economic development),
CS10 (Sustainable development)
CS11 (Sustainable construction)
CS12 (Infrastructure delivery)
CS17 (Travel options and accessibility)

5.3 Reigate & Banstead Borough Local Plan 2005

Landscape & Nature Conservation	Pc4, Pc6
Heritage	Pc9, Pc11
Community Facilities	Cf1, Cf2, Cf3
Movement	Mo4, Mo5, Mo6, Mo7

5.4 Other Material Considerations

National Planning Policy Framework	
National Planning Practice Guidance	
Supplementary Planning Guidance	Local Distinctiveness Design Guide Developer Contributions SPD
Other	Human Rights Act 1998 Community Infrastructure Levy Regulations 2010 (as amended)

6.0 **Assessment**

- 6.1 The application site comprises the Dunottar School. The main school building is a Grade II listed mansion set within large grounds which are designated as Urban Open Land and the majority of the site is also a Historic Garden.
- 6.2 The proposals involve the refurbishment/reorganisation of some existing buildings, together with the construction of two main new buildings to provide a Sixth Form centre and Assembly Hall.
- 6.3 The applicant has confirmed that there is no proposed increase to the existing established cap on pupil numbers (of 460 as per 95/14240/F) as a result of the proposed extensions.
- 6.4 The main issues to consider are therefore:
- Principle of development on Urban Open Land
 - Design, character and effect on the historic interest of the site
 - Transport, parking and highways implications
 - Effects on the amenity of neighbouring properties

- Impact on trees and landscaping proposals

Principle of development on Urban Open Land

- 6.3 The Dunottar School site is wholly designated as Urban Open Land in the 2005 Borough Local Plan.
- 6.4 In this regard, policy Pc6 – which generally seeks to control development on, and resist the loss of, Urban Open Land – is applicable. Policy Pc6 does however allow for proposals for ancillary buildings or for the extension or replacement of existing buildings subject to consideration of the relevant design policies, the contribution made by the UOL to the character of the area and to the functioning of any essential social, community or educational use. All of the proposed buildings are considered to be extensions to the existing school complex.
- 6.5 With regard to the Assembly Hall, this would be sited on an area of Urban Open Land which is largely contained within the envelope of the built complex of the school, surrounded to the north and east by the main school classroom buildings and to the west by the Sports Hall. In this regard, it is considered to make a relatively limited contribution to the character of the area. Furthermore, whilst it is a grassed area, it is not used as a formal play/recreation area for the school and has no public access. Loss of this area of UOL is not therefore considered to give rise to any material harm. A similar conclusion is reached in respect of the more modest area to be occupied by the proposed orangery.
- 6.6 The site of the Sixth Form centre is more prominently located to the front of the Grade II listed mansion and within the historic gardens. This part of the site is again not actively used or an integral part of the functioning of the educational/recreational use of the site but rather its primary role is as gardens providing a setting to the listed building. However, as described below, the design of the extension and proposed replacement landscaping is such that they are considered to comply with the relevant design policies and, as a result, building on this area of the site is not considered to harm the character of the area or the heritage assets. With regards to the considerations in Policy Pc6, this extension on UOL is not therefore considered to be objectionable.
- 6.7 In coming to this view, account has also been taken of the need for additional accommodation to support the development of the school as a co-educational facility. The Design Statement particularly notes that a number of the existing older school buildings have classroom spaces which fall short of DfE and Ofsted recommendations, the use of temporary classrooms and a lack of space for larger pupil congregations such as assemblies and exams (without causing logistical issues by using, for example the Dining Hall). The Design Statement also provides details of the space audit undertaken which demonstrates that opportunities to re-organise existing accommodation were explored and maximised (such as refurbishment and reconfiguration of the stable block and Pelican Building) before new buildings/extensions were considered.
- 6.8 In this regard, it is agreed that there is a requirement for additional facilities to meet an educational need and ensure the efficient functioning of the school and - in

accordance with national policy - "*great weight*" should be afforded to the need to expand and improve schools. Furthermore, evidence has been provided to demonstrate that realistic opportunities to re-use existing buildings have been taken up and that, therefore, new/additional buildings are necessary.

- 6.9 Taking these considerations together with the conclusion above that development on the two main areas of Urban Open Land proposed would not give rise to harm to character or conflict with any essential social, community or educational use, it is felt that proposal is consistent with the thrust of Urban Open Land policy and would not conflict with Policy Pc6 of the 2005 Borough Local Plan.

Design, character and effect on the historic interest of the site

- 6.10 As above, the main mansion building, stable block and water tower are all Grade II listed and therefore constitute designated heritage assets for the purposes of national policy. The historic garden is locally designated and, as such, a non-designated heritage asset.
- 6.11 An orangery extension is proposed to the south of the existing dining hall. This part of the building is a relatively unsympathetic modern addition which in its current form is somewhat of a detracting feature in the southern elevation. The proposed orangery would be a comparatively modest addition in footprint and would follow the southern building line of these existing additions, which are set back from the rear elevation of the main mansion. In this regard, it would continue to appear as a subservient element. The orangery has been designed in a way which broadly reflects the conventions and grander proportions of the colonnade style Victoria wing to the west of the original mansion. The architectural detailing and materials proposed for the orangery are considered appropriate, particularly following the improvements to secure more articulation around the entrance. Overall, this extension is considered to improve the overall coherence and appearance of the southern elevation, particularly when compared to the blander and more utilitarian ground floor elevation which presently exists.
- 6.12 The assembly/exam hall would be the largest of the three buildings, and would be situated in an opening between the existing science block and the more recently built sports hall to the east which is set at a lower ground level. Whilst the hall would be a relatively large building, it is in a relatively discrete location and is considered to fit comfortably amongst the adjoining buildings. The building would follow the eaves height of the science block and be slightly set down in ridge height, ensuring that the building would not appear out of scale or unduly prominent. The hipped slated roof with relatively low pitch reflects the main listed building and is considered to be an acceptable design response. In terms of appearance the elevations are well ordered and articulated, particularly the more exposed southern elevation which would adopt the same style, detailing and broad proportions as the orangery (with similar improvements secured during the course of the application to the entrance here also).
- 6.13 A new sixth form centre is proposed as part of the works. This would be facilitated in part through reconfiguration and refurbishment of existing buildings, including the

listed coach house, and in part through the erection of a new single storey extension.

- 6.14 The works to the stable block include internal reconfiguration at ground and first floor along with new fenestration externally. The replacement of the existing unsympathetic uPVC windows to part of the coach house is welcomed and an improved design for the large arch window has also been secured during the course of the application. Subject to conditions, the external works to the listed buildings are felt to be acceptable and preserve its significance. With regards to the internal reconfiguration, during the course of the application, additional information was provided which confirms that the proposals would not have an unacceptable impact on more substantial internal features such as fireplaces which would be preserved. Full internal surveys will be secured through condition prior to commencement to ensure that other interior architectural and decorative features are also identified and appropriately preserved. Subject to these conditions, the works to the listed building are felt to be acceptable.
- 6.15 The proposed internal and external reconfiguration and refurbishment of the more modern, art deco style Pelican block is also felt to be acceptable following improvements to the design of the replacement windows secured during the course of the application.
- 6.16 The new single storey extension to form the sixth form communal space is considered to be the most sensitive aspect of the scheme, occupying part of the locally listed gardens on the approach to the Grade II listed mansion. The proposed extension would be of a more contemporary single storey, flat roofed form with highly glazed elevations. The extension would follow existing ground floor level of the adjoining Pelican Block and, as a result of the rising ground; the northern end of the extension would be partially “dug in” to the ground with the adjoining gardens banked up around the building. The combination of this approach to levels and the low profile design is such that the building would appear subservient and largely screened by the existing and proposed landscaping, ensuring that it is not unduly prominent or conspicuous on the approach to and views of the front of the mansion. The predominance of glazing to the elevations is considered an appropriate response, avoiding excessive solidity and giving a reflective quality which will help melt the building into the landscape. Some loss of existing landscaping and trees would result; however, replacement planting is proposed to mitigate this and ensure adequate screening of the building. Overall, whilst in a sensitive location, it is not considered that the sixth form centre extension would have an adverse effect on the setting of the Grade II listed mansion building.
- 6.17 In terms of the locally listed gardens, the footprint of the extension would inevitably result in a modest erosion of the extent of the gardens and, as above, some existing landscaping and trees would be lost. The specific arboricultural implications are discussed further below and replacement planting is proposed around the sixth form centre. In addition, to offset and compensate the encroachment into the locally listed gardens, a number of improvements elsewhere in the grounds – such as additional landscaping to soften and screen the parking areas and tennis courts to the west of the mansion, which are currently quite prominent and visually intrusive -

are proposed which cumulatively are considered to ensure that there would be no overall harm to the locally listed gardens.

- 6.18 Overall the proposed buildings and associated landscaping are considered to be well-designed acceptable in terms of their impact on the character and appearance of the Grade II listed Dunottar, the historic gardens and the wider area more generally. It is concluded that the proposals – subject to the various recommended conditions – would not give rise to harm to the heritage assets. As such, the applications are considered to comply with Policy CS4 of the Core Strategy, Borough Local Plan 2005 policies Cf2, Pc9 and Pc11 and the provisions of the NPPF.

Accessibility, parking and traffic implications

- 6.19 The proposed development would not change the existing access arrangements for the site, which would continue to be from High Trees Road. Minor reconfiguration of the existing car park on site is proposed: these changes would improve the functionality of the car parking whilst also addressing some existing issues regarding screening and informal parking encroaching onto trees but would not change the capacity of the car park (which would be 51 car spaces and 3 minibus parking spaces). Given the nature of – and designations affecting – the site, opportunities to increase on-site parking beyond this level are felt to be very limited.
- 6.20 Concerns have been raised by numerous nearby residents regarding the impact of the proposals in terms of highways and parking. In this regard, as noted above, whilst the proposals would give rise to an increase in the size and amount of school accommodation on the site, there is no proposal to increase the existing established cap on pupil numbers of 460 (as per condition 11 to 95/14240/F). The school could therefore lawfully operate with 460 pupils at present with the consequent number of transport movements and parking demand which this brings. The current proposals would not therefore lead to an increase in travel over and above what could occur at present. This is an important material consideration.
- 6.21 Furthermore, it is acknowledged that the current proposals could lead to a change in the profile and “demographic” of the school due to the improvements to the Sixth Form accommodation and offer and, as a result, some change in the profile of how students travel to the school. However, there is no evidence to suggest that this would lead to a significant or harmful increase in private car movements. Older students are generally more “independent” and whilst it is acknowledged that some older sixth form students may seek to drive to school, data from National Travel Surveys actually suggests that the propensity to travel to school by car decreases with age.¹ On this basis, there is no evidence that any change in age profile at the school would be likely to give rise to a demonstrable or harmful increase in car movements or parking demand. In terms of staffing, until recently the school operated a lower school (taking children from 4-11) which necessitated higher

¹ For example data from the 2016 National Travel Survey indicates that the proportion of school journeys by 11-16 year olds which are taken by car/van is 26%, compared with 48% for younger pupils. Additionally, the propensity to take the bus (local bus or private bus) to school rises from 29% amongst 11-16 year olds, compared with 6% amongst younger children.

staffing ratios due to the younger children and the current proposals are not expected to result in staffing exceeding these previous levels.

- 6.22 As part of the application, the school has proposed an updated School Travel Plan in order to better manage school travel and encourage more sustainable travel options. The draft Travel Plan particularly highlights that *“there is scope to encourage more pupils to travel by bus”* but notes that in order to accommodate more pupils, capacity on existing routes will need to be increased and potentially new routes proposed. Given the National Travel Survey evidence above regarding propensity to take the bus amongst older students, a focus on encouraging and facilitating bus travel is felt to be appropriate in principle. However, to ensure this would be effective, greater detail is required through the final Travel Plan as to exactly how the school bus services are to be enhanced in order to achieve this. The County Council has also reviewed the Travel Plan and notes that no targets are included regarding modal shift (in particular discouraging single child private car journeys) or remedial actions should such targets be missed. A condition requiring submission and approval of a revised Travel Plan and its subsequent implementation will therefore be imposed. No other objections have been raised by the County Highway Authority in respect of the proposals. Given the limited opportunities for increased on-site parking and the thrust of national policy towards promoting sustainable travel, imposing a Travel Plan is considered to be an appropriate solution.
- 6.23 It is noted that concerns have been raised in representations regarding the use of the school sports facilities in evening and weekends by clubs and groups. Whilst this issue is noted, the impact of use of existing facilities cannot reasonably be remedied through this planning application. Whilst the school has confirmed that they have no intention to make the new facilities (notably the Assembly Hall) available for others, it is considered reasonable and necessary to impose a condition to requiring a management plan to be submitted detailing how any non-school use of the Assembly Hall will be managed in order to provide safeguards in respect of local amenity and local traffic conditions. As set out in the condition, such a plan would be expected to cover times of use, availability of parking and restrictions to prevent the hall being used at times where other facilities are booked by the public (in order to manage cumulative effects).
- 6.24 Inconsiderate or injudicious parking (blocking driveways, etc.) are matters of highway enforcement where on the public highway (e.g. Ringley Park Avenue): the County Highway Authority has not raised any concerns or objections in relation to highway safety conflicts arising from on-street parking.
- 6.25 The County Highway Authority has also recommended a requirement for a Construction Transport Management Plan. An appropriate plan for Phase 1 works has been provided (following the provision of additional information during the course of the application) and further information would be required in due course for Phase 2. This is proposed to be secured by condition. Such a plan would assist in minimising transport and highway disruption during construction. Other legislation exists, such as statutory nuisance, to protect neighbours from unneighbourly (e.g. uncontrolled noise or dust) construction activities.

- 6.26 In view of the above, subject to the recommended conditions, the proposal would not give rise to harm to highway safety, capacity or operation and would incorporate measures to promote sustainable travel. It therefore complies with policies Cf2, Mo4, Mo4 and Mo7 of the 2005 Borough Local Plan and policy CS17 of the Core Strategy. Whilst the local concerns regarding parking are noted, given the above, refusal on the basis of transport impacts is felt to be sustainable.

Effects on the amenity of neighbouring properties

- 6.27 The Assembly Hall would be sited between the existing Sports Hall building and the Science Block. In this location, it would be in excess of 40m from the boundary of the site with the nearest residential property. As such, whilst acknowledging that the ridge height of the Assembly Hall would be slightly above that of the adjoining Sports Hall, it is not considered that it would give rise to any material adverse impact on neighbour amenity in terms of overbearing, overshadowing or overlooking.
- 6.28 The proposed Sixth Form centre extension would similarly be internal within the site. The nearest residential property ("The Lodge") would be almost 60m from the proposed extension. Given its siting and low profile single storey nature, the Sixth Form building would have no discernible impact on neighbour amenity. The proposed refuse store within the car park is considered to be sufficiently distant from the boundary with neighbouring properties (over 4m) and landscaping is proposed to help screen this – on this basis, it is not considered to give rise to undue adverse impact on neighbour amenity.
- 6.29 Concerns have been raised by neighbouring properties regarding noise and disturbance, predominantly arising from the activity along Ringley Park Avenue and High Tree Road associated with movements to and from the school. Whilst it is acknowledged that waiting vehicles during drop-off/pick up may be viewed as a nuisance for surrounding residents, given the nature of Ringley Park Avenue, the generally ample set back of houses from the road, the fact that it is a public highway and mindful of the fact that the disturbance will only occur at specific times during the day, it is not considered that this would cause a serious detriment to amenity warranting refusal.
- 6.30 On this basis, the proposal would is not considered to give rise to any serious adverse impacts on neighbour amenity and therefore complies with policy Cf2 of the Borough Local Plan 2005.

Impact on trees and landscaping proposals

- 6.31 As described above, most of the grounds of Dunottar School – including those areas where development is proposed – are a locally listed historic garden in the style of Edward Kemp. There is also significant arboricultural interest in the site with the woodland to the south and trees along the front boundary with High Trees Road covered by a preservation order.
- 6.32 The application was accompanied by a full Arboricultural Implications Assessment. This identifies that some trees and low level shrubbery would be removed to

facilitate the construction of the new Sixth Form centre to the front of the site. The Tree Officer has reviewed the information submitted and considers that it is thorough in detail and confirms that, whilst some losses would occur, these are mainly lower quality trees of internal landscape value only. None of the specimen trees or key arboricultural features within the site (such as the Monkey Puzzle or Lebanon Cedar within the car park) would be affected. Tree protection measures and appropriate supervision and monitoring are proposed and the Tree Officer has confirmed that these should be adequate to avoid any long lasting damage or adverse impacts on retained trees.

- 6.33 To compensate for the trees and shrubs to be removed, and to ensure that – overall – the proposals would not have a negative effect on the historic garden, a detailed landscaping strategy was provided with the application. This identifies a programme of replacement planting within the area around the Sixth Form Centre as well as additional planting in the grounds to the south of the Assembly Hall and as screening to the car park. The landscaping proposals have been reviewed by the Conservation Officer and the Tree Officer and are considered to the character of the area and the original style of the historic gardens in terms of the species proposed. Through the course of the application, some enhancement to initial planting sizes has been secured in order to ensure that the landscaping will provide effective screening and a meaningful contribution to landscape character from the outset. Conditions are proposed to ensure that the landscaping is completed in step with the individual phases of the development (and the improvements around the car park secured up front) rather than being left until completion.
- 6.34 Accordingly subject to the conditions identified above, the proposal would not have an undue adverse effect on the arboricultural interest of the site and would preserve the overall character of the listed gardens. Consequently, the proposals would comply with policies Pc4 and Pc11 of the Borough Local Plan 2005 and policy CS4 S10 of the Core Strategy.

Infrastructure, CIL and other matters

- 6.35 As it involves the creation of new school accommodation, the proposals fall outside of the uses which are chargeable according to the Council's Charging Schedule. On this basis, it would not be liable for CIL.
- 6.36 Beyond CIL, legislation and national policy requires that only contributions that are directly required as a consequence of development can be secured through planning obligations. Requests of this nature must be fully justified with evidence including costed spending plans to demonstrate what the money requested would be spent on. In this case, no such site specific contributions have been requested.
- 6.37 The site is not in an area at risk of flooding and falls within Flood Zone 1 according to the Environment Agency flood maps and is also considered to be at very low risk of surface water flooding.
- 6.38 Given the conclusions reached above in relation to Urban Open Land and character, and mindful of the fact that there is no proposal to increase the

established cap on pupil numbers, the proposals are not considered to represent an overdevelopment or harmful intensification of the site.

- 6.39 Concerns have been raised in regards to health; however, these would appear to be related to highway safety and the risk of accidents which are addressed above. No other specific issues have been identified nor raised in the representations. Harm to Conservation Area is alleged in some representations; however, the application site is not within, nor adjacent to a Conservation Area. Matters relating to the impact on other heritage assets are discussed above.

CONDITIONS

A - PLANNING APPLICATION 18/00326/F

1. The development hereby permitted shall be carried out in accordance with the following approved plans:

Plan Type	Reference	Version	Date Received
Location Plan	AD 101	C	17.04.2018
Block Plan	AD 102	B	09.02.2018
Roof Plan	AD 103	A	09.02.2018
Other Plan	AD 104	F	17.04.2018
Other Plan	AD 105	B	09.02.2018
Other Plan	AD 106	B	19.04.2018
Proposed Plan	AD 107	A	09.02.2018
Combined Plan	AD 108	D	17.04.2018
Site Layout Plan	AD 109	B	17.04.2018
Other Plan	AD 110	A	23.04.2018
Floor Plan	AD 201	A	09.02.2018
Floor Plan	AD 202	A	09.02.2018
Section Plan	AD 203	A	09.02.2018
Section Plan	AD 204	A	09.02.2018
Section Plan	AD 205	A	09.02.2018
Section Plan	AD 206	A	09.02.2018
Floor Plan	AD 207	C	17.04.2018
Floor Plan	AD 208	B	17.04.2018
Elevation Plan	AD 209	B	27.04.2018
Elevation Plan	AD 210	B	27.04.2018
Elevation Plan	AD 211	B	27.04.2018
Elevation Plan	AD 212	B	27.04.2018
Elevation Plan	AD 213	B	27.04.2018
Section Plan	AD 214	B	09.02.2018
Other Plan	AD 216	A	17.04.2018
Section Plan	AD 303	A	09.02.2018
Section Plan	AD 305	A	09.02.2018
Combined Plan	AD 307	A	09.02.2018
Floor Plan	AD 308	A	09.02.2018
Floor Plan	AD 309	A	09.02.2018
Elevation Plan	AD 310	C	30.04.2018
Elevation Plan	AD 311	C	09.02.2018

Elevation Plan	AD 312	C	30.04.2018
Elevation Plan	AD 313	B	09.02.2018
Elevation Plan	AD 314	B	09.02.2018
Elevation Plan	AD 315	B	09.02.2018
Elevation Plan	AD 316	A	09.02.2018
Combined Plan	AD 318	A	09.02.2018
Site Layout Plan	AD 401	D	17.04.2018
Proposed Plan	AD 402	B	09.02.2018
Proposed Plan	AD 403	C	09.02.2018
Proposed Plan	AD 501	A	09.02.2018
Proposed Plan	AD 502	A	09.02.2018
Floor Plan	SK 03	A	17.04.2018
Arboricultural Plan	TLP 01		09.02.2018
Arboricultural Plan	PP 02		03.05.2018

Reason:

To define the permission and ensure the development is carried out in accord with the approved plans and in accordance with National Planning Practice Guidance.

Note: Should alterations or amendments be required to the approved plans, it will be necessary to apply either under Section 96A of the Town and Country Planning Act 1990 for non-material alterations or Section 73 of the Act for minor material alterations. An application must be made using the standard application forms and you should consult with us, to establish the correct type of application to be made.

2. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason:

To comply with Section 91(1) of the Town and Country Planning Act 1990 as amended by Section 51 (1) of the Planning and Compulsory Purchase Act 2004.

3. No development, including demolition, site clearance or any refurbishment works to existing buildings, shall commence until:
 - a) the additional Bat Emergence Surveys (as recommended in the approved Preliminary Ecological Appraisal) have been carried out and a report detailing the results and any necessary measures for mitigation, compensation or habitat enhancement
 - b) a precautionary working method statement for site clearance and construction works with consideration to badgers, nesting birds, small mammals and reptiles. Have been submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in strict accordance with any approved details.

Reason:

To ensure that any protected species or the habitats thereof are safeguarded with respect to policy Pc2G of the Reigate and Banstead Borough Local Plan 2005, policy CS10 of the Reigate and Banstead Core Strategy and the provisions of the NPPF.

4. No development shall commence on any phase (including groundworks preparation and demolition) until all related arboricultural matters for that phase of works including tree protection measures, pre commencement meeting, arboricultural

supervision and monitoring are implemented in accordance with the approved details contained in the Arboricultural Impact Assessment, Arboricultural Method Statement dated 2nd February 2018 and the Tree protection Plans Ref: TPP02 dated 2nd February 2018 compiled by David Archer and Associates.

Reason:

To ensure good arboricultural practice in the interests of the maintenance of the character⁷ and appearance of the area with regard to policies Pc4 and Pc11 of the Reigate and Banstead Borough Local Plan 2005 and the recommendations within British Standard 5837.

5. No development on Phase 1, including any refurbishment works to existing buildings, shall commence until an intrusive pre-demolition and refurbishment asbestos survey in accordance with HSG264 has been carried out and submitted to and approved in writing by the Local Planning Authority. The survey shall be carried out by a suitably qualified person and shall include details of removal and mitigation appropriate for the proposed end use.

Reason:

To ensure that a strategy is put in place for addressing contamination before development commences and to make the land/buildings suitable for development without resulting in risk to construction workers, future users, nearby occupiers and the environment with regard to policy CS10 of the Reigate and Banstead Core Strategy and the National Planning Policy Framework.

6. The Phase 1 development shall be carried out in strict accordance with the Construction Transport Management Plan by Miller Bourne (Rev B. 2018 02 05) and with the details specified on the Phase 1: Site Compound Drawing (no. AD 104 Rev E).

Reason:

To ensure that the development would not prejudice highway safety nor cause inconvenience to other highway users to satisfy policies Mo5 and Mo7 of the Reigate and Banstead Borough Local Plan 2005 and the objectives of the NPPF 2012.

7. No development on the Phase 2 Assembly Hall building shall commence until the existing temporary classrooms shown edged dotted red on approved plan AD308 Rev A and any associated works and materials shall be permanently removed from the site.

Thereafter, the Phase 2 External works as identified on approved drawing AD403 shall be completed prior to occupation of the Phase 2 Assembly Hall.

Reason:

To ensure that the unauthorised temporary structures are permanently removed from this area of Urban Open Land and historic garden and the land restored appropriately in order to comply with policies Pc6 and Pc11 of the Reigate and Banstead Borough Local Plan 2005.

8. No development on Phase 2 shall commence until a revised, updated Construction Transport Management Plan specific to that phase, to include details of:
 - (a) parking for vehicles of site personnel, operatives and visitors
 - (b) loading and unloading of plant and materials
 - (c) storage of plant and materials

- (d) construction vehicles routing to and from the site
- (e) measures to prevent deposit of materials on the highway
- (f) on-site turning for construction vehicles

Has been submitted to and approved in writing by the Local Planning Authority. Only the approved details shall be implemented during the construction of the development.

Reason:

To ensure that the development would not prejudice highway safety nor cause inconvenience to other highway users to satisfy policies Mo5 and Mo7 of the Reigate and Banstead Borough Local Plan 2005 and the objectives of the NPPF 2012.

9. No above ground or superstructure works on the Phase 2 buildings shall commence until full details of the proposed stonework to the southern entrances, including section drawings, have been submitted to and approved in writing by the Local Planning Authority. Only the approved stonework details shall be implemented.

Reason:

To ensure that a satisfactory external appearance is achieved with regard to Reigate and Banstead Borough Local Plan 2005 policies Cf2, Pc9 and Pc11 and Reigate and Banstead Core Strategy policies CS1, CS4 and CS10.

10. The proposed finishing materials and details shall be carried out in accordance with the details specified in the approved Miller Bourne Materials Schedule (Rev B dated 9/4/2018), except where otherwise specified below and there shall be no variation without the prior approval in writing of the Local Planning Authority:

- (a) Notwithstanding the materials schedule, the pitched roofs shall be of natural slates, with Staffordshire blue clay ridge tiles
- (b) All external joinery to the coach house including doors shall be of painted timber
- (c) All internal mouldings and joinery (including doors) to the coach house shall match existing historic joinery
- (d) For the coach house south west wing all casement windows including the round arch window shall be of white painted timber with casements in each opening set back behind the reveal at one brick depth and except on section C-C where the windows shall be white painted timber vertically sliding sashes set back behind the reveal at one brick depth
- (e) All aluminium windows shall have casements in each opening to ensure equal sightlines
- (f) Notwithstanding the details in the approved materials schedule, the bricks to be used in the construction of the buildings shall be Straw Blend by Rijswaard Baksteen and the brick bond shall be of Flemish bond brickwork except for the east elevation of new Assembly Hall.
- (g) The original window frames in the coach house north wing shall be retained, and shall not be replaced without the strict approval in writing of the Local Planning Authority
- (h) The sun pipe shall be finished with a black painted metal conservation rooflight
- (i) The shortened kitchen garden wall shall be protected during building works and made good with matching brickwork before occupation of the Assembly Hall
- (j) The fanlight to coach house south west wing shall be retained

Reason:

To ensure that a satisfactory external appearance is achieved with regard to Reigate and Banstead Borough Local Plan 2005 policies Cf2, Pc9 and Pc11 and Reigate and Banstead Core Strategy policies CS1, CS4 and CS10.

11. All hard and soft landscaping and external works shall be completed in full accordance with the scheme as detailed in the approved Landscaping Plan, Planting Plan, Planting Schedule, Planting Specification, Landscape Maintenance and Management Programme dated 2 May 2018 by David Archer Associates, (including the plans contained therein) and the approved External Works Plans (drawing numbers AD401 Rev D, AD402 Rev B and AD403 Rev C).

Unless otherwise agreed by the Local Planning Authority, the landscaping, planting and external works shall be completed as follows:

- a) The works shown on drawings AD401 Rev D, AD402 Rev B and the inset plans titled "Proposed Car Park Works Landscape Plan" and "Proposed Phase 1 Landscape Plan" on approved drawing PP02 shall be completed prior to occupation of the Sixth Form Extension (Phase 1) or within the first planting season following completion
- b) The works shown on drawing AD403 Rev C and the inset plan titled "Proposed Phase 2 Landscape Plan" on approved drawing PP02 shall be completed prior to occupation of the new Assembly Hall (Phase 2) or within the first planting season following completion
- c) The replacement urn proposed on the pedestal to the south of the Assembly Hall as shown on approved drawing AD110 A shall be installed prior to occupation of the new Assembly Hall.

All new tree planting shall be positioned in accordance with guidelines and advice contained in the current British Standard 5837: Trees in relation to construction.

Any trees shrubs or plants planted in accordance with this condition which are removed, die or become damaged or become diseased within five years of planting shall be replaced within the next planting season by trees, and shrubs of the same size and species.

Reason:

To ensure good arboricultural and landscape practice in the interests of the maintenance of the character and appearance of the area and the historic gardens in order to comply with policies Pc4, Pc11 and Cf2 of the Reigate and Banstead Borough Local Plan 2005.

12. The development shall be carried out in strict accordance with the recommendations, avoidance and mitigation measures identified in the Preliminary Ecology Appraisal by David Archer Associates (dated April 2018) in respect of construction working methods, ecological enhancement and provision of replacement or alternative habitat.

All replacement and alternative habitat and other ecological enhancement shall be completed prior to first occupation of the development.

Reason:

In order to preserve and enhance the wildlife and habitat interest on the site and ensure species present on the site are afforded appropriate protection during

construction works with regard to Reigate and Banstead Borough Local Plan 2005 policy Pc2G.

13. Notwithstanding the submitted School Travel Plan, no part of the development shall be occupied unless and until a revised School Travel Plan in accordance with the aims and objectives of the National Planning Policy Framework and Surrey County Council Travel Plan Guidance has been submitted to and approved in writing by the Local Plan Authority. The revised plans shall be in broad accordance with the draft by Bellamy Roberts (ref: ITR/HL/5908/STP.1) but developed to include the following:
- c) Targets to reduce single occupancy vehicle trips by staff and parents of children attending the school and remedial measures should such targets be missed
 - d) Details of specific improvements to the existing school bus service (including proposed new routes or increased capacity on existing routes), a programme for implementation of such measures and a commitment to continued review

The approved Travel Plan shall be implemented prior to first occupation of any phase of the development hereby approved and for each subsequent occupation and shall thereafter be maintained and developed to the satisfaction of the Local Planning Authority.

Reason:

To ensure that the development would promote sustainable transport choices with regard to Policy CS17 of the Reigate and Banstead Core Strategy 2014 and in recognition of Section 4 "Promoting Sustainable Transport" in the National Planning Policy Framework 2012

14. No part of the development hereby approved shall be first occupied unless and until the following facilities have been provided within the development site in accordance with the approved plans:

- a) secure parking for bicycles
- b) facilities for the storage of refuse bins

Thereafter, the aforementioned facilities shall retained and maintained to the satisfaction of the Local Planning Authority.

Reason:

To ensure that the development would promote sustainable transport choices and make adequate provision for waste and recycling with regard to Policy Cf2 of the Reigate and Banstead Local Plan 2005 and Policy CS17 of the Reigate and Banstead Core Strategy 2014 and in recognition of Section 4 "Promoting Sustainable Transport" in the National Planning Policy Framework 2012

15. The Phase 1 Sixth Form block shall not be first occupied unless and until the replacement windows to the coach house and Pelican building have been completed in full accordance with the approved plans and any relevant details specified in Condition 3 above.

Reason:

To ensure that a satisfactory external appearance is achieved and to ensure improvements to the listed buildings are secured with regard to Reigate and Banstead Borough Local Plan 2005 policies Cf2, Pc9 and Pc11 and Reigate and Banstead Core Strategy policies CS1, CS4 and CS10.

16. The Phase 2 Assembly Hall shall not be first occupied unless and until details of how any non-school use of the Hall will be managed have been submitted to and approved in writing by the Local Planning Authority. The submission shall include details of:
- Any restrictions on the times which the facility will be made available for non-school use
 - Measures to control the cumulative effect of non-school use of the various facilities on the site (including the new Assembly Hall) including but not limited to restrictions on the overall number of non-school users/visitors at any one time
 - How parking demand from non-school uses will be managed, including a commitment that on-site parking will be available to any such users

The applicant shall implement the approved details upon occupation and thereafter.

Reason:

To ensure that any non-school use of the proposed facilities is appropriately controlled with respect to the potential impacts on with regard to Policy CS17 of the Reigate and Banstead Core Strategy 2014 and in recognition of Section 4 "Promoting Sustainable Transport" in the National Planning Policy Framework 2012

17. If, prior to or during development, ground contamination is suspected, identified or otherwise manifests itself, the Local Planning Authority shall be notified at the earliest practicable opportunity and no further development (unless otherwise agreed by the Local Planning Authority) shall be carried out until an appropriate remediation strategy has been submitted to and approved in writing by the Local Planning Authority.

Remediation shall thereafter be implemented in accordance with such details as may be approved and the development shall not be first occupied unless and until a remediation validation report demonstrating that the agreed strategy has been complied with has been submitted to and approved in writing by the Local Planning Authority.

Reason:

In order that any contamination risks which might arise on the site are fully assessed and appropriately remediated to ensure that the development will not give rise to risk of harm to human health or pollution of controlled waters with regard to policy CS10 of the Reigate and Banstead Core Strategy 2014 and the NPPF.

18. No more than 460 children shall attend Dunottar School at any one time.

Reason:

In order to maintain control over the intensity of use and associated vehicular movements to prevent any hazard to highway safety or harm to amenity with regard to Reigate and Banstead Borough Local Plan Policy Ho9.

INFORMATIVES 18/00326/F

- Your attention is drawn to the safety benefits of installing sprinkler systems as an integral part of new development. Further information is available at www.firesprinklers.info.
- The applicant is encouraged to provide renewable technology within the development hereby permitted in order to reduce greenhouse gas emissions.

3. You are advised that the Council will expect the following measures to be taken during any building operations to control noise, pollution and parking:
- (a) Work that is audible beyond the site boundary should only be carried out between 08:00hrs to 18:00hrs Monday to Friday, 08:00hrs to 13:00hrs Saturday and not at all on Sundays or any Public and/or Bank Holidays;
 - (b) The quietest available items of plant and machinery should be used on site. Where permanently sited equipment such as generators are necessary, they should be enclosed to reduce noise levels;
 - (c) Deliveries should only be received within the hours detailed in (a) above;
 - (d) Adequate steps should be taken to prevent dust-causing nuisance beyond the site boundary. Such uses include the use of hoses to damp down stockpiles of materials, which are likely to generate airborne dust, to damp down during stone/slab cutting; and the use of bowsers and wheel washes;
 - (e) There should be no burning on site;
 - (f) Only minimal security lighting should be used outside the hours stated above; and
 - (g) Building materials and machinery should not be stored on the highway and contractors' vehicles should be parked with care so as not to cause an obstruction or block visibility on the highway.

Further details of these noise and pollution measures can be obtained from the Council's Environmental Health Services Unit. In order to meet these requirements and to promote good neighbourliness, the Council recommends that this site is registered with the Considerate Constructors Scheme - www.ccscheme.org.uk/index.php/site-registration.

4. The developer is reminded that it is an offence to allow materials to be carried from the site and deposited on or damage the highway from uncleaned wheels or badly loaded vehicles. The Highway Authority will seek, wherever possible, to recover any expenses incurred in clearing, cleaning or repairing highway surfaces and prosecutes persistent offenders. (Highways Act 1980 Sections 131, 148, 149).
5. The use of a suitably qualified arboricultural consultant is essential to provide acceptable supervision and monitoring in respect of the arboricultural issues in respect of the above condition. All works shall comply with the recommendations and guidelines contained within British Standard 5837.

REASON FOR PERMISSION FOR 18/00326/F

The development hereby permitted has been assessed against development plan policies CS1, CS4, CS5, CS10, CS11, CS12, CS13, CS15, CS17, Pc4, Pc6, Pc9, Pc11, Cf1, Cf2, Cf3, Mo4, Mo5, Mo6, Mo7 and material considerations, including third party representations. It has been concluded that the development is in accordance with the development plan and there are no material considerations that justify refusal in the public interest.

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently

determining to grant planning permission in accordance with the presumption in favour of sustainable development where possible, as set out within the National Planning Policy Framework.

CONDITIONS

B – LISTED BUILDING CONSENT 18/00327/LBC

1. The development hereby permitted shall be carried out in accordance with the following approved plans:

Plan Type	Reference	Version	Date Received
Location Plan	AD 101	C	17.04.2018
Block Plan	AD 102	B	09.02.2018
Roof Plan	AD 103	A	09.02.2018
Other Plan	AD 104	F	17.04.2018
Other Plan	AD 105	B	09.02.2018
Other Plan	AD 106	B	19.04.2018
Proposed Plan	AD 107	A	09.02.2018
Combined Plan	AD 108	D	17.04.2018
Site Layout Plan	AD 109	B	17.04.2018
Other Plan	AD 110	A	23.04.2018
Floor Plan	AD 201	A	09.02.2018
Floor Plan	AD 202	A	09.02.2018
Section Plan	AD 203	A	09.02.2018
Section Plan	AD 204	A	09.02.2018
Section Plan	AD 205	A	09.02.2018
Section Plan	AD 206	A	09.02.2018
Floor Plan	AD 207	C	17.04.2018
Floor Plan	AD 208	B	17.04.2018
Elevation Plan	AD 209	B	27.04.2018
Elevation Plan	AD 210	B	27.04.2018
Elevation Plan	AD 211	B	27.04.2018
Elevation Plan	AD 212	B	27.04.2018
Elevation Plan	AD 213	B	27.04.2018
Section Plan	AD 214	B	09.02.2018
Other Plan	AD 216	A	17.04.2018
Section Plan	AD 303	A	09.02.2018
Section Plan	AD 305	A	09.02.2018
Combined Plan	AD 307	A	09.02.2018
Floor Plan	AD 308	A	09.02.2018
Floor Plan	AD 309	A	09.02.2018
Elevation Plan	AD 310	C	30.04.2018
Elevation Plan	AD 311	C	09.02.2018
Elevation Plan	AD 312	C	30.04.2018
Elevation Plan	AD 313	B	09.02.2018
Elevation Plan	AD 314	B	09.02.2018
Elevation Plan	AD 315	B	09.02.2018
Elevation Plan	AD 316	A	09.02.2018
Combined Plan	AD 318	A	09.02.2018

Site Layout Plan	AD 401	D	17.04.2018
Proposed Plan	AD 402	B	09.02.2018
Proposed Plan	AD 403	C	09.02.2018
Proposed Plan	AD 501	A	09.02.2018
Proposed Plan	AD 502	A	09.02.2018
Floor Plan	SK 03	A	17.04.2018
Arboricultural Plan	TLP 01		09.02.2018

Reason:

To define the permission and ensure the development is carried out in accord with the approved plans and in accordance with National Planning Practice Guidance.

Note: Should alterations or amendments be required to the approved plans, it will be necessary to apply either under Section 96A of the Town and Country Planning Act 1990 for non-material alterations or Section 73 of the Act for minor material alterations. An application must be made using the standard application forms and you should consult with us, to establish the correct type of application to be made.

2. The development for which Listed Building Consent is hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason:

To comply with Section 18(1)(a) of the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended by Section 52 (4) of the Planning and Compulsory Purchase Act 2005.

3. The proposed finishing materials and details shall be carried out in accordance with the details specified in the approved Miller Bourne Materials Schedule (Rev B dated 9/4/2018), except where otherwise specified below and there shall be no variation without the prior approval in writing of the Local Planning Authority:
 - (a) Notwithstanding the materials schedule, the pitched roofs shall be of natural slates, with Staffordshire blue clay ridge tiles
 - (b) All external joinery to the coach house including doors shall be of painted timber
 - (c) All internal mouldings and joinery (including doors) to the coach house shall match existing historic joinery
 - (d) For the coach house south west wing all casement windows including the round arch window shall be of white painted timber with casements in each opening set back behind the reveal at one brick depth and except on section C-C where the windows shall be white painted timber vertically sliding sashes set back behind the reveal at one brick depth
 - (e) All aluminium windows shall have casements in each opening to ensure equal sightlines
 - (f) The bricks to be used in the construction of the buildings shall be submitted to and approved in writing by the Local Planning Authority prior to commencement of any above ground works or superstructure works on any phase and, notwithstanding the details in the materials schedule, the brick bond shall be of Flemish bond brickwork except for the east elevation of new Assembly Hall.
 - (g) The original window frames in the coach house north wing shall be retained, and shall not be replaced without the strict approval in writing of the Local Planning Authority
 - (h) The sun pipe shall be finished with a black painted metal conservation rooflight

- (i) The shortened kitchen garden wall shall be protected during building works and made good with matching brickwork before occupation of the Assembly Hall
- (j) The fanlight to coach house south west wing shall be retained

Reason:

To ensure that a satisfactory external appearance is achieved with regard to Reigate and Banstead Borough Local Plan 2005 policies Cf2, Pc9 and Pc11 and Reigate and Banstead Core Strategy policies CS1, CS4 and CS10.

4. The Phase 1 Sixth Form block shall not be first occupied unless and until the replacement windows to the coach house and Pelican building have been completed in full accordance with the approved plans and any relevant details specified in Condition 3 above.

Reason:

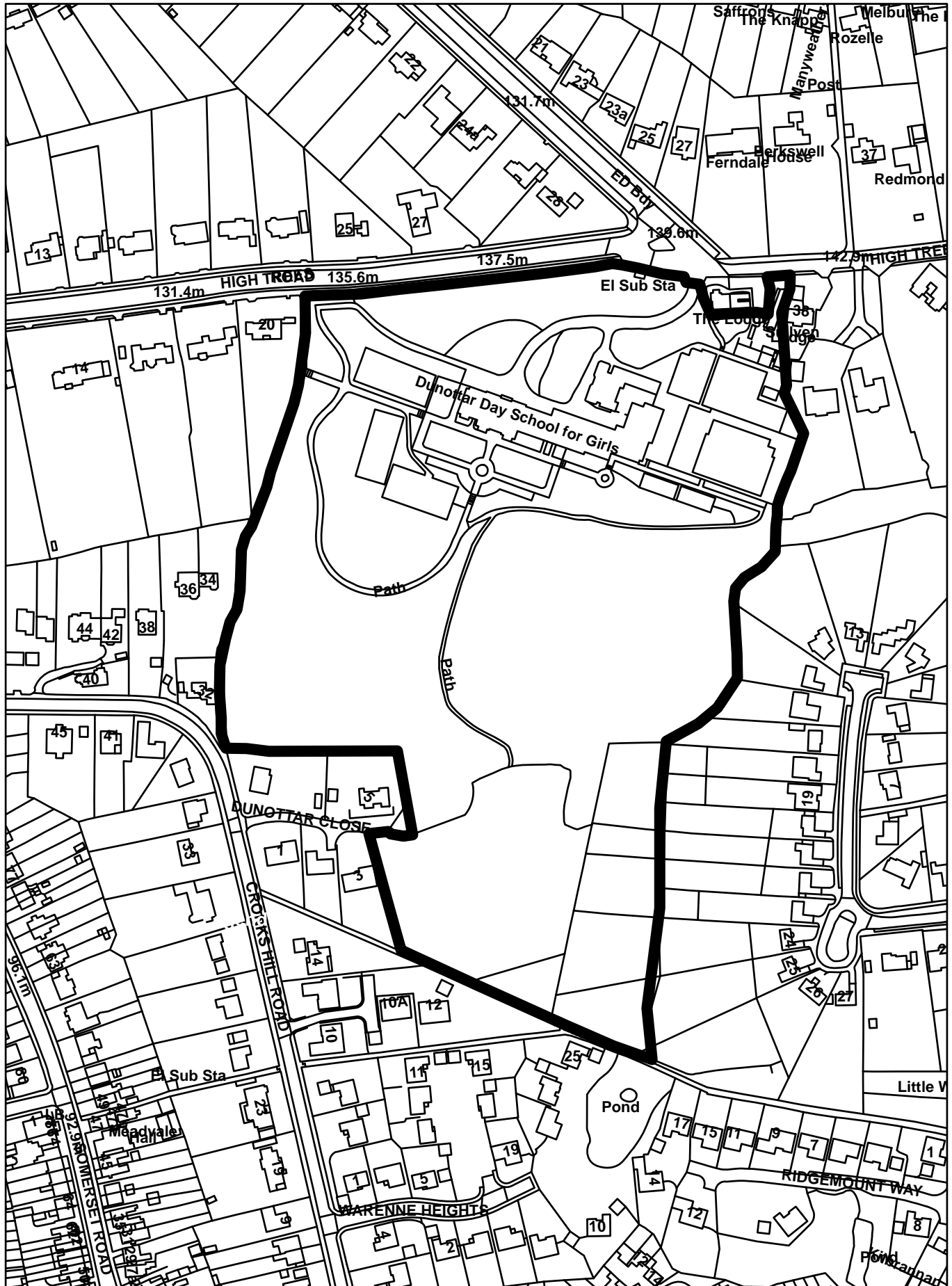
To ensure that a satisfactory external appearance is achieved and to ensure improvements to the listed buildings are secured with regard to Reigate and Banstead Borough Local Plan 2005 policies Cf2, Pc9 and Pc11 and Reigate and Banstead Core Strategy policies CS1, CS4 and CS10.

REASON FOR PERMISSION FOR 18/00327/LBC

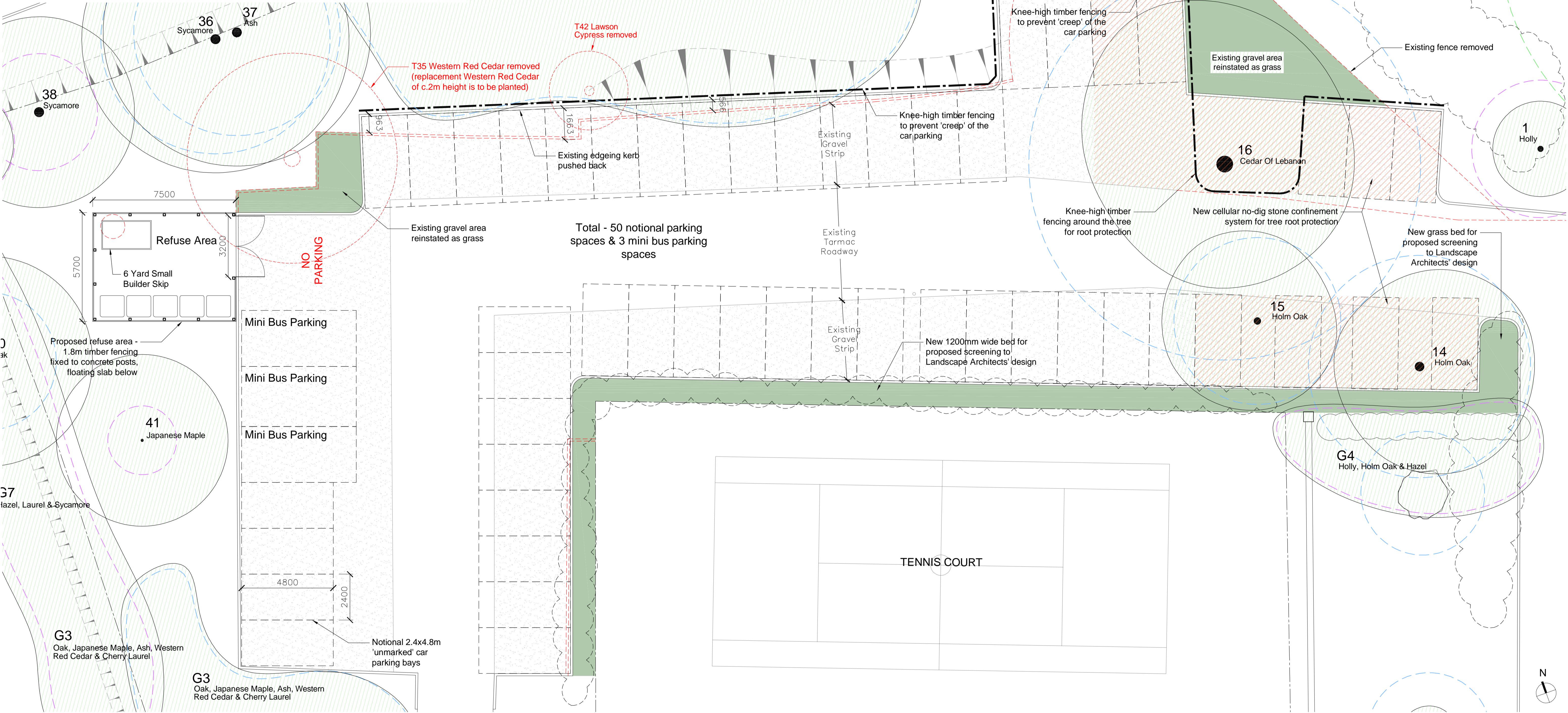
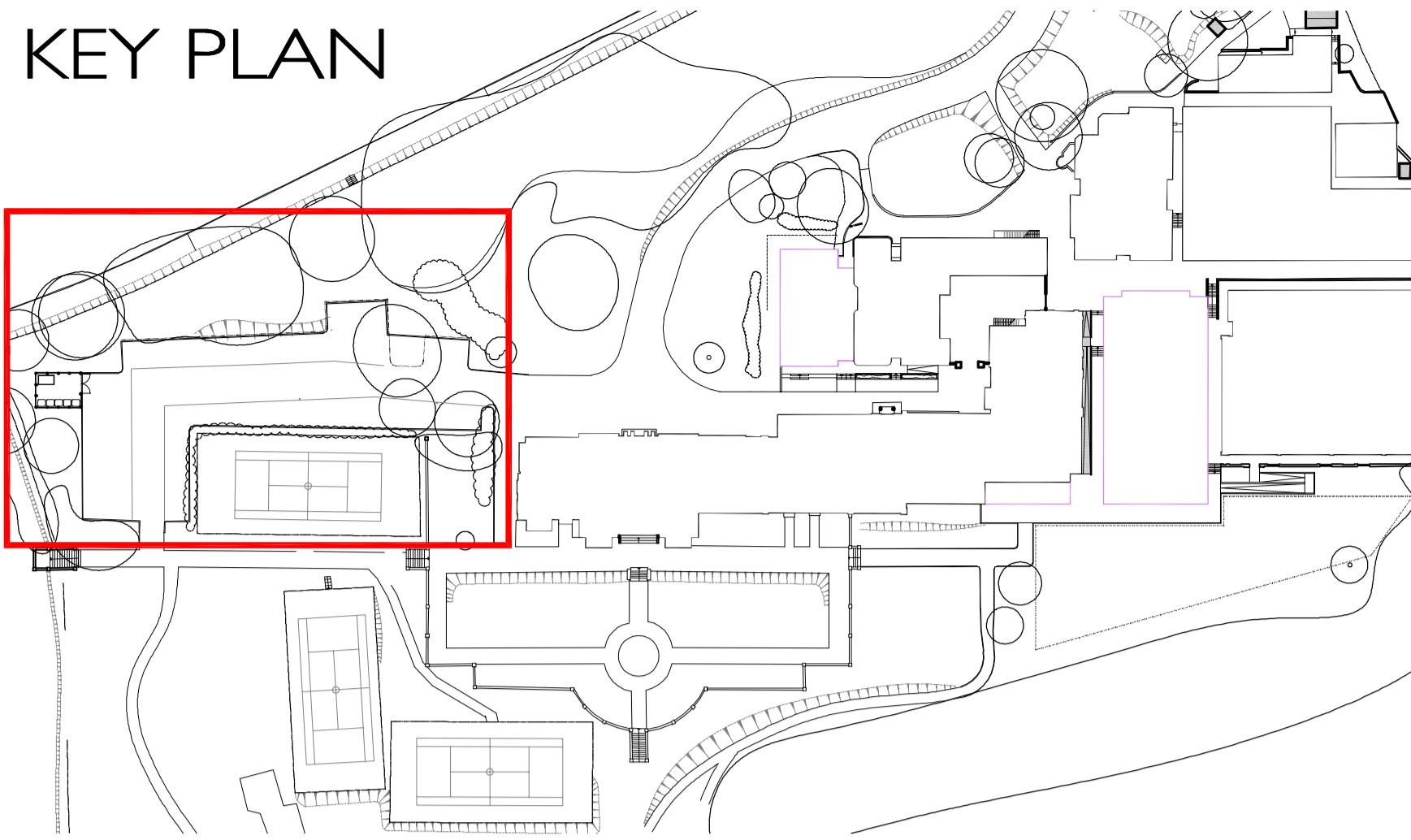
The development hereby permitted has been assessed against development plan policies CS1, CS4 and Pc9 and material considerations, including third party representations. It has been concluded that the development is in accordance with the development plan and there are no material considerations that justify refusal in the public interest.

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant listed building consent in accordance with the presumption in favour of sustainable development where possible, as set out within the National Planning Policy Framework.

18/00326/F & 18/00327/LBC - Dunottar School, 36 High Trees Road, Reigate



KEY PLAN



Note:
Do not scale this drawing.
All levels and dimensions are to be checked on site.
This drawing is to be read in conjunction with all relevant consultants' requirements, drawings and specifications.
Any discrepancies between consultants' drawings to be reported to the Contract Administrator before any relevant work commences.

Notes

Note: Tree species, No's and RPA's as identified on David Archer Associates tree survey report

Drawing shows the proposed car park and surroundings at the completion of Phase 2.

Rev	Date	Description	Drawn	Checked	Status
A	18.01.18	First Issue	AZ	IDH	
B	31.01.18	Key plan updated	AZ	IDH	
C	05.02.18	Tree 42 information added - PLANNING APPLICATION	PSH	IDH	
D	11.04.18	2no. parking spaces directly in front of the refuse store removed - PLANNING APPLICATION	PSH	IDH	

PLANNING

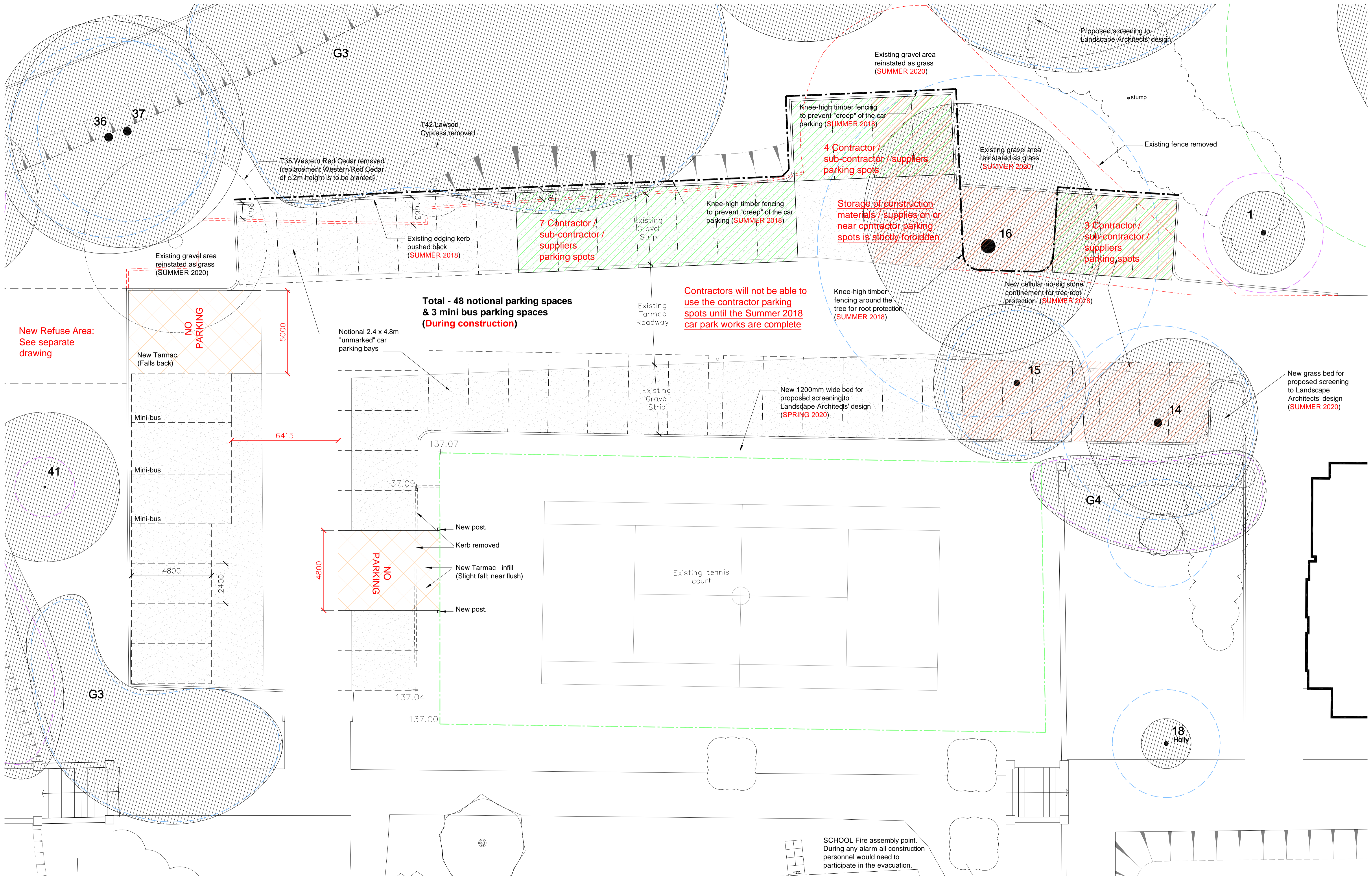
Dunottar School
Phased Development Proposal

Car Park
External Works

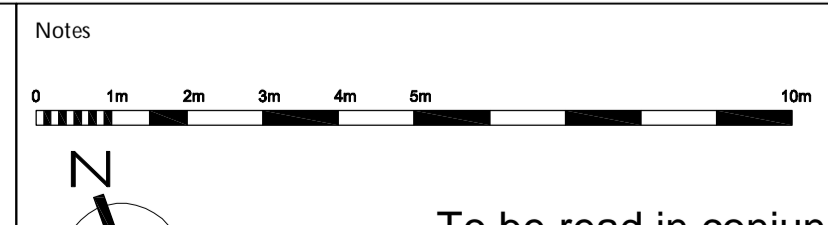
Scale: 1:100 @ A1
Job: 4586
Dwg: AD 401
Rev: D

MILLERBOURNE ARCHITECTS

332 Kingsway
Hove, East Sussex
BN3 4QW
T: 01273 411399
design@millier-bourne.co.uk



Note:
 Do not scale this drawing
 All levels and dimensions are to be checked on site.
 This drawing is to be read in conjunction with all relevant consultants' requirements, drawings and specifications.
 Any discrepancies between consultants' drawings to be reported to the Contract Administrator before any relevant work commences.



- To be read in conjunction with drawing AD104
- See drawing AD401 for full landscape details

Rev	Date	Description	Drawn	Checked	Status
A	09.04.18	First Issue	PSH	PSH	
B	11.04.18	Updated - PLANNING APPLICATION	PSH	PSH	

PLANNING

Dunottar School
 Phased Development Proposal
 Car Park: During Construction

Scale: 1:100 @ A1 Job: 4586 Dwg: AD 109 Rev: B

MILLERBOURNE ARCHITECTS

332 Kingsway
 Hove East Sussex
 BN3 4QW
 T: 01273 411399
 design@millier-bourne.co.uk



West Elevation

NOTE: trees removed for clarity

Note:
Do not scale this drawing.
All levels and dimensions are to be checked on site.
This drawing is to be read in conjunction with all relevant consultants' requirements, drawings and specifications.
Any discrepancies between consultants' drawings to be reported to the Contract Administrator before any relevant work commences.

Copyright: 2018 Miller Bourne ©

Notes

PHASE 1: NEW SIXTH FORM CENTRE

Rev	Date	Description	Drawn	Checked	Status
A	31.01.18	First Issue - PLANNING APPLICATION	EB	IDH	
B	27.04.18	Minor alterations to elevations of proposed extension, replacement windows to existing building changed	AZ	IDH	

PLANNING

Dunottar School
Phased Development Proposal
Phase I:
Proposed Elevations - West

Scale: 1:50 @ A1
Job: 4586
Date: AD 212
Rev: B

MILLERBOURNE
ARCHITECTS

332 Kingsway
Hove East Sussex
BN3 4QW
T: 01273 411399
design@miller-bourne.co.uk



East Elevation



West Elevation

Note:
Do not scale this drawing.
All levels and dimensions are to be checked on site.
This drawing is to be read in conjunction with all relevant consultants' requirements, drawings and specifications.
Any discrepancies between consultants' drawings to be reported to the Contract Administrator before any relevant work commences.

Copyright © 2018 Miller Bourne

Notes

SCALE IN METRES, 1:100

PHASE 2: NEW ASSEMBLY AND EXAM HALL

Rev	Date	Description	Drawn	Checked	Status
A	18.01.18	First Issue	EB	IDH	
B	31.01.18	General update - PLANNING APPLICATION	PSH	IDH	

PLANNING

Dunottar School
Phased Development Proposal
Phase 2:
Proposed East & West Elevations

Scale: 1:100 @ A1
Job: 4586
Dwg: AD 311
Rev: B

MILLERBOURNE
ARCHITECTS

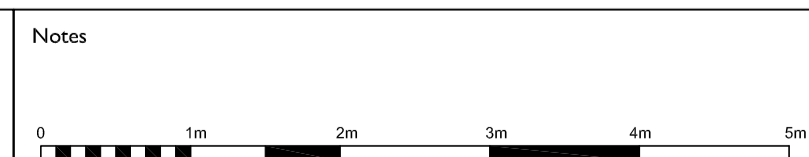
332 Kingsway
Hove East Sussex
BN3 4QW
T: 01273 411399
design@miller-bourne.co.uk



West Elevation

1. Gable end louvres for ventilation plant
2. Slate roof
3. PPC aluminium gutter, colour - mid-grey
4. PPC aluminium windows, doors and intermediate panels, colour - mid-grey
5. PPC ventilation louvres to be incorporated within window frame
6. PPC aluminium cladding panels, colour mid-grey
7. PPC aluminium RWP, colour mid-grey
8. Reconstituted stone feature, colour - bath stone
9. Reconstituted stone cill, colour - bath stone
10. Reconstituted stone feature and coping, colour - bath stone
11. Reconstituted stone feature panels, colour - bath stone
12. First quality multi facing bricks
13. Brick soldier coursing
14. Brick dentil feature coursing
15. Pitched rooflight over orangery extension
16. Sunpipes to practice rooms

Note:
Do not scale this drawing.
All levels and dimensions are to be checked on site.
This drawing is to be read in conjunction with all relevant consultants' requirements, drawings and specifications.
Any discrepancies between consultants' drawings to be reported to the Contract Administrator before any relevant work commences.



PHASE 2: NEW ASSEMBLY AND EXAM HALL

Rev	Date	Description	Drawn	Checked	Status
A	18.01.18	First Issue	EB	IDH	
B	31.01.18	General update - PLANNING APPLICATION	PSH	IDH	

Dunottar School
Phased Development Proposal
Phase 2:
Proposed West Elevation

Scale: 1:50 @ A1
Job: 4586
Dwg: AD 315
Rev: B

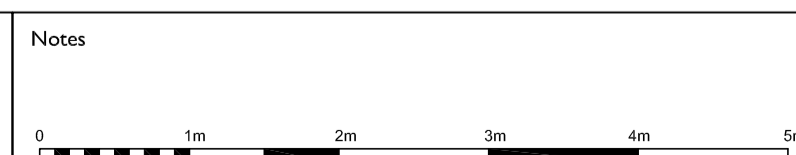
MILLERBOURNE
ARCHITECTS
332 Kingsway
Hove East Sussex
BN3 4QW
T: 01273 411399
design@miller-bourne.co.uk



1. Gable end louvres for ventilation plant
2. Slate roof
3. PPC aluminium gutter, colour - mid-grey
4. PPC aluminium windows, doors and intermediate panels, colour - mid-grey
5. PPC ventilation louvres to be incorporated within window frame
6. PPC aluminium cladding panels, colour mid-grey
7. PPC aluminium RWP, colour mid-grey
8. Reconstituted stone feature, colour - bath stone
9. Reconstituted stone cill, colour - bath stone
10. Reconstituted stone feature and coping, colour - bath stone
11. Reconstituted stone feature panels, colour - bath stone
12. First quality multi facing bricks
13. Brick soldier coursing
14. Brick dentil feature coursing
15. Pitched rooflight over orangery extension
16. Sunpipes to practice rooms

North Elevation

Note:
Do not scale this drawing.
All levels and dimensions are to be checked on site.
This drawing is to be read in conjunction with all relevant consultants' requirements, drawings and specifications.
Any discrepancies between consultants' drawings to be reported to the Contract Administrator before any relevant work commences.



PHASE 2: NEW ASSEMBLY AND EXAM HALL

Rev	Date	Description	Drawn	Checked	Status
A	18.01.18	First Issue	EB	IDH	
B	31.01.18	General update - PLANNING APPLICATION	PSH	IDH	

PLANNING	Dunottar School Phased Development Proposal			
	Phase 2: Proposed North Elevation			
	Scale 1:50 @ A1	Job 4586	Dwg AD 313	Rev B

MILLERBOURNE
ARCHITECTS

332 Kingway
Hove East Sussex
BN3 4QW
T: 01273 411399
design@miller-bourne.co.uk

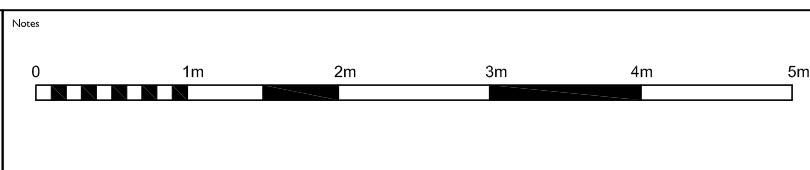


1. Gable end louvres for ventilation plant
2. Slate roof
3. PPC aluminium gutter, colour - mid-grey
4. PPC aluminium windows, doors and intermediate panels, colour - mid-grey
5. PPC ventilation louvres to be incorporated within window frame
6. PPC aluminium cladding panels, colour mid-grey
7. PPC aluminium RWP, colour mid-grey
8. Reconstituted stone feature, colour - bath stone

9. Reconstituted stone cill, colour - bath stone
10. Reconstituted stone feature and coping, colour - bath stone
11. Reconstituted stone feature panels, colour - bath stone
12. First quality multi facing bricks
13. Brick soldier coursing
14. Brick dentil feature coursing
15. Pitched rooflight over orangery extension
16. Sunpipes to practice rooms

East Elevation

Note:
Do not scale this drawing.
All levels and dimensions are to be checked on site.
This drawing is to be read in conjunction with all relevant consultants' requirements, drawings and specifications.
Any discrepancies between consultants' drawings to be reported to the Contract Administrator before any relevant work commences.



Rev	Date	Description	Drawn	Checked	Status
A	31.01.18	First Issue - PLANNING APPLICATION	AZ	IDH	

PLANNING	Dunottar School Phased Development Proposal			
	Phase 2: Proposed Orangery East Elevation			
	Scale 1:50 @ A3	Job 4586	Draw AD 316	Rev A

MILLERBOURNE
ARCHITECTS

332 Kingsway
Hove East Sussex
BN3 4QW
T: 01273 411399
design@miller-bourne.co.uk



West Elevation

Note:
Do not scale this drawing.
All levels and dimensions are to be checked on site.
This drawing is to be read in conjunction with all relevant consultants' requirements, drawings and specifications.
Any discrepancies between consultants' drawings to be reported to the Contract Administrator before any relevant work commences.

Copyright: 2018 Miller Bourne ©

Notes

PHASE 1: NEW SIXTH FORM CENTRE

Rev	Date	Description	Drawn	Checked	Status
A	31.01.18	First Issue - PLANNING APPLICATION	EB	IDH	
B	27.04.18	Minor alterations to elevations of proposed extension, replacement windows to existing building changed	AZ	IDH	

PLANNING

Dunottar School
Phased Development Proposal
Phase 1:
Proposed Building West Elevation

Scale: 1:100 @ A1
Job: 4586
Date: AD 210
Rev: B

MILLERBOURNE
ARCHITECTS

332 Kingsway
Hove East Sussex
BN3 4QW
T: 01273 411399
design@miller-bourne.co.uk



North Elevation



South Elevation

Note:
Do not scale this drawing.
All levels and dimensions are to be checked on site.
This drawing is to be read in conjunction with all relevant consultants' requirements, drawings and specifications.
Any discrepancies between consultants' drawings to be reported to the Contract Administrator before any relevant work commences.

Copyright: 2018 Miller Bourne ©

Notes

PHASE 1: NEW SIXTH FORM CENTRE

Rev	Date	Description	Drawn	Checked	Status
A	31.01.18	First Issue - PLANNING APPLICATION	EB	IDH	
B	27.04.18	Minor alterations to elevations of proposed extension, replacement windows to existing building changed	AZ	IDH	

PLANNING

Dunottar School
Phased Development Proposal
Phase I:
Proposed Building North & South Elevations

Scale: 1:100 @ A1
Job: 4586
Date: AD 209
Rev: B

MILLERBOURNE
ARCHITECTS

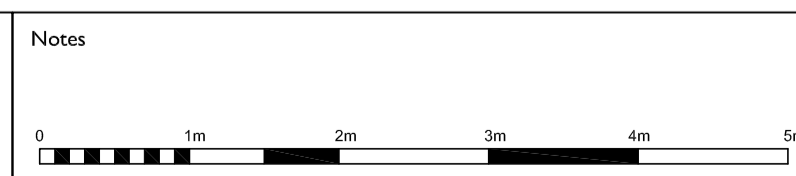
332 Kingsway
Hove East Sussex
BN3 4QW
T: 01273 411399
design@miller-bourne.co.uk



South Elevation

1. Gable end louvres for ventilation plant
2. Slate roof
3. PPC aluminium gutter, colour - mid-grey
4. PPC aluminium windows, doors and intermediate panels, colour - mid-grey
5. PPC ventilation louvres to be incorporated within window frame
6. PPC aluminium cladding panels, colour mid-grey
7. PPC aluminium RWP, colour mid-grey
8. Reconstituted stone feature, colour - bath stone
9. Reconstituted stone cill, colour - bath stone
10. Reconstituted stone feature and coping, colour - bath stone
11. Reconstituted stone feature panels, colour - bath stone
12. First quality multi facing bricks
13. Brick soldier coursing
14. Brick dentil feature coursing
15. Pitched rooflight over orangery extension
16. Sunpipes to practice rooms

Note:
Do not scale this drawing.
All levels and dimensions are to be checked on site.
This drawing is to be read in conjunction with all relevant consultants' requirements, drawings and specifications.
Any discrepancies between consultants' drawings to be reported to the Contract Administrator before any relevant work commences.



PHASE 2: NEW ASSEMBLY AND EXAM HALL

Rev	Date	Description	Drawn	Checked	Status
A	18.01.18	First Issue	EB	IDH	
B	31.01.18	General update - PLANNING APPLICATION	AZ	IDH	
C	27.04.18	Minor alterations to elevational treatment	AZ	IDH	

PLANNING	Dunottar School Phased Development Proposal			
	Phase 2: Proposed South Elevation			
	Scale 1:50 @ A1	Job 4586	Dwg AD 312	Rev C

MILLERBOURNE
ARCHITECTS
332 Kingway
Hove East Sussex
BN3 4QW
T: 01273 411399
design@miller-bourne.co.uk



North Elevation

NOTE: trees removed for clarity



South Elevation

Note:
Do not scale this drawing.
All levels and dimensions are to be checked on site.
This drawing is to be read in conjunction with all relevant consultants' requirements, drawings and specifications.
Any discrepancies between consultants' drawings to be reported to the Contract Administrator before any relevant work commences.
Copyright: 2018 Miller Bourne ©

Notes
0 1m 2m 3m 4m 5m 10m
PHASE 1: NEW SIXTH FORM CENTRE

Rev	Date	Description	Drawn	Checked	Status
A	31.01.18	First Issue - PLANNING APPLICATION	EB	IDH	
B	27.04.18	Minor alterations to elevations of proposed extension, replacement windows to existing building changed	AZ	IDH	

Dunottar School
Phased Development Proposal
Phase I:
Proposed Elevations - North & South
Scale: 1:50 @ A1
Job: 4586
Date: AD 211
Rev: B

MILLERBOURNE
ARCHITECTS
332 Kingsway
Hove East Sussex
BN3 4QW
T: 01273 411399
design@miller-bourne.co.uk

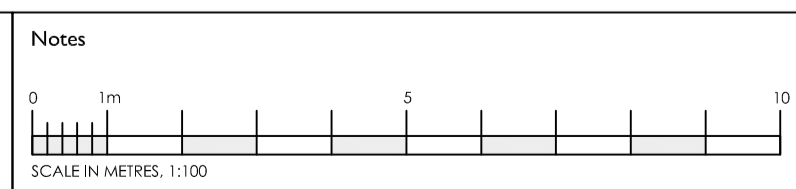


South Elevation



North Elevation

Note:
Do not scale this drawing.
All levels and dimensions are to be checked on site.
This drawing is to be read in conjunction with all relevant consultants' requirements, drawings and specifications.
Any discrepancies between consultants' drawings to be reported to the Contract Administrator before any relevant work commences.

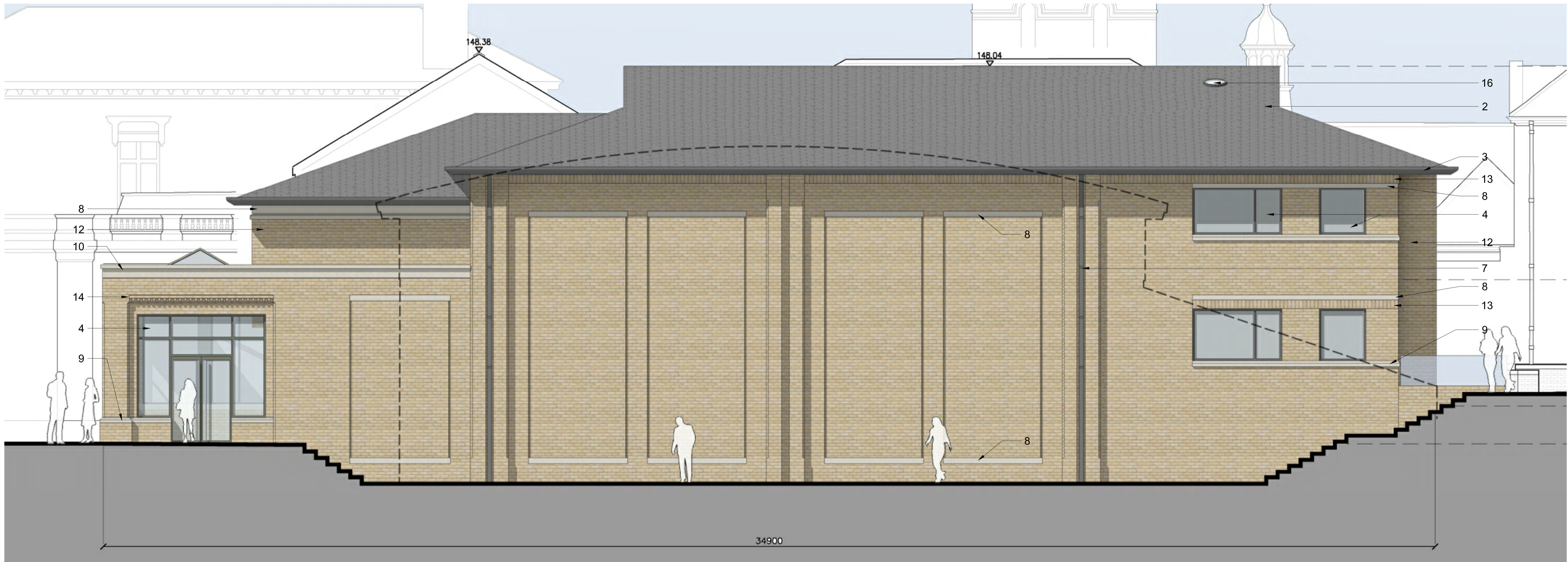


PHASE 2: NEW ASSEMBLY AND EXAM HALL

Rev	Date	Description	Drawn	Checked	Status
A	18.01.18	First Issue	EB	IDH	
B	31.01.18	General update - PLANNING APPLICATION	AZ	IDH	
C	27.04.18	Minor alterations to elevational treatment	AZ	IDH	

PLANNING	Dunottar School Phased Development Proposal			
	Phase 2: Proposed South & North Elevations			
	Scale 1:100 @ A1	Job 4586	Dwg AD 310	Rev C

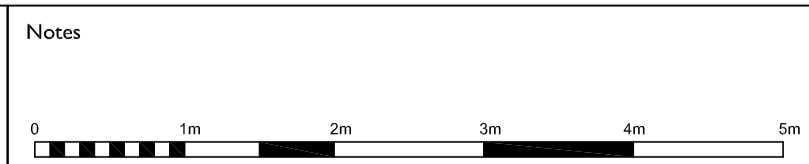
MILLERBOURNE ARCHITECTS
332 Kingway
Hove East Sussex
BN3 4QW
T: 01273 411399
design@miller-bourne.co.uk



East Elevation

1. Gable end louvres for ventilation plant
2. Slate roof
3. PPC aluminium gutter, colour - mid-grey
4. PPC aluminium windows, doors and intermediate panels, colour - mid-grey
5. PPC ventilation louvres to be incorporated within window frame
6. PPC aluminium cladding panels, colour mid-grey
7. PPC aluminium RWP, colour mid-grey
8. Reconstituted stone feature, colour - bath stone
9. Reconstituted stone cill, colour - bath stone
10. Reconstituted stone feature and coping, colour - bath stone
11. Reconstituted stone feature panels, colour - bath stone
12. First quality multi facing bricks
13. Brick soldier coursing
14. Brick dentil feature coursing
15. Pitched rooflight over orangery extension
16. Sunpipes to practice rooms

Note:
Do not scale this drawing.
All levels and dimensions are to be checked on site.
This drawing is to be read in conjunction with all relevant consultants' requirements, drawings and specifications.
Any discrepancies between consultants' drawings to be reported to the Contract Administrator before any relevant work commences.



PHASE 2: NEW ASSEMBLY AND EXAM HALL

Rev	Date	Description	Drawn	Checked	Status
A	18.01.18	First Issue	EB	IDH	
B	31.01.18	General update - PLANNING APPLICATION	PSH	IDH	

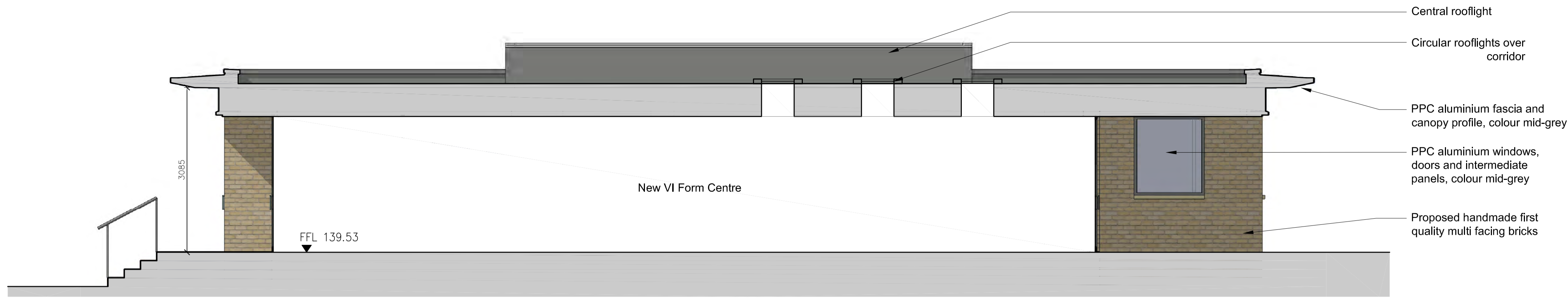
PLANNING

Dunottar School
Phased Development Proposal
Phase 2:
Proposed East Elevation

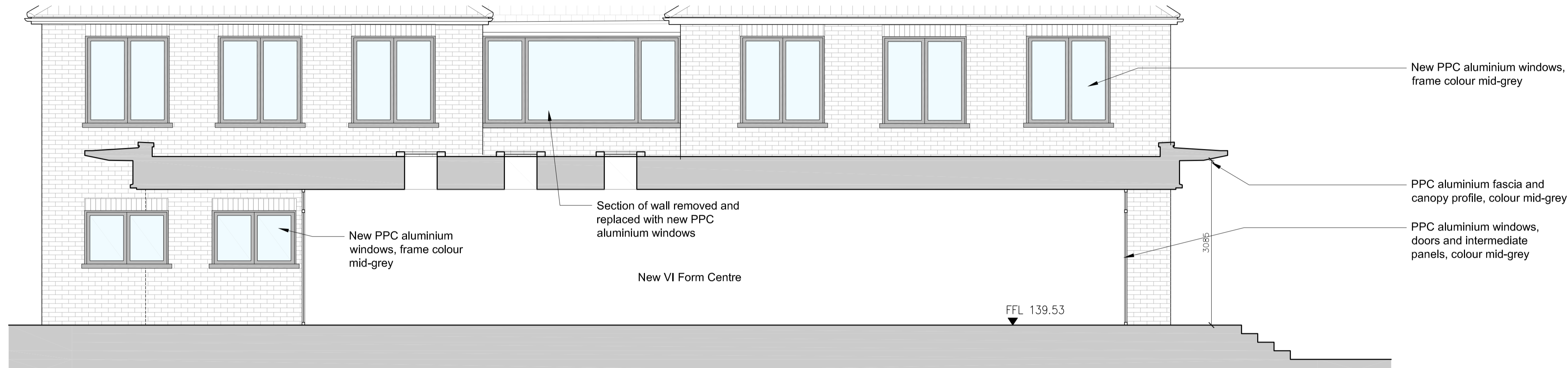
Scale: 1:50 @ A1
Job: 4586
Dwg: AD 314
Rev: B

MILLERBOURNE
ARCHITECTS

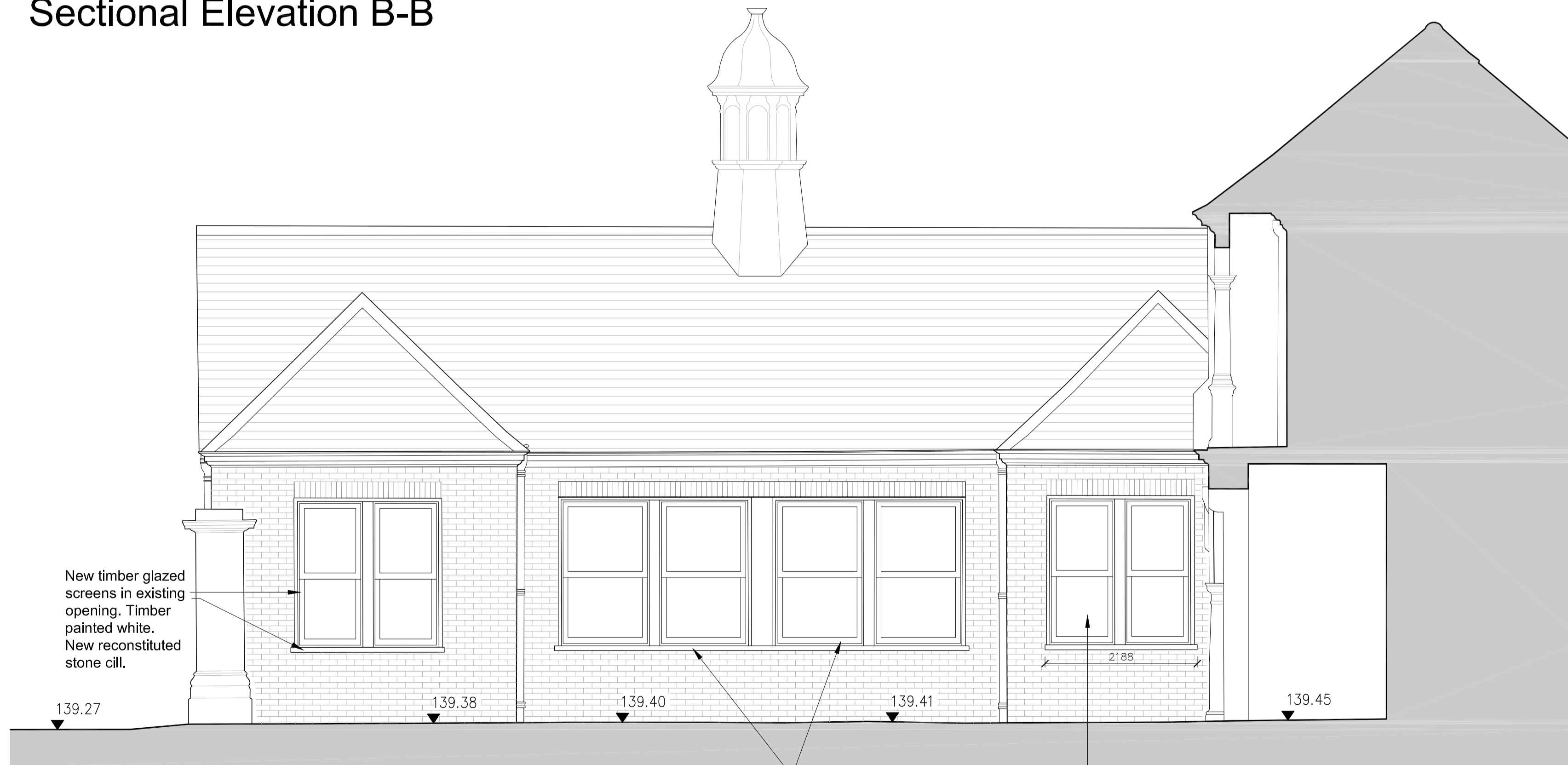
332 Kingsway
Hove East Sussex
BN3 4QW
T: 01273 411399
design@miller-bourne.co.uk



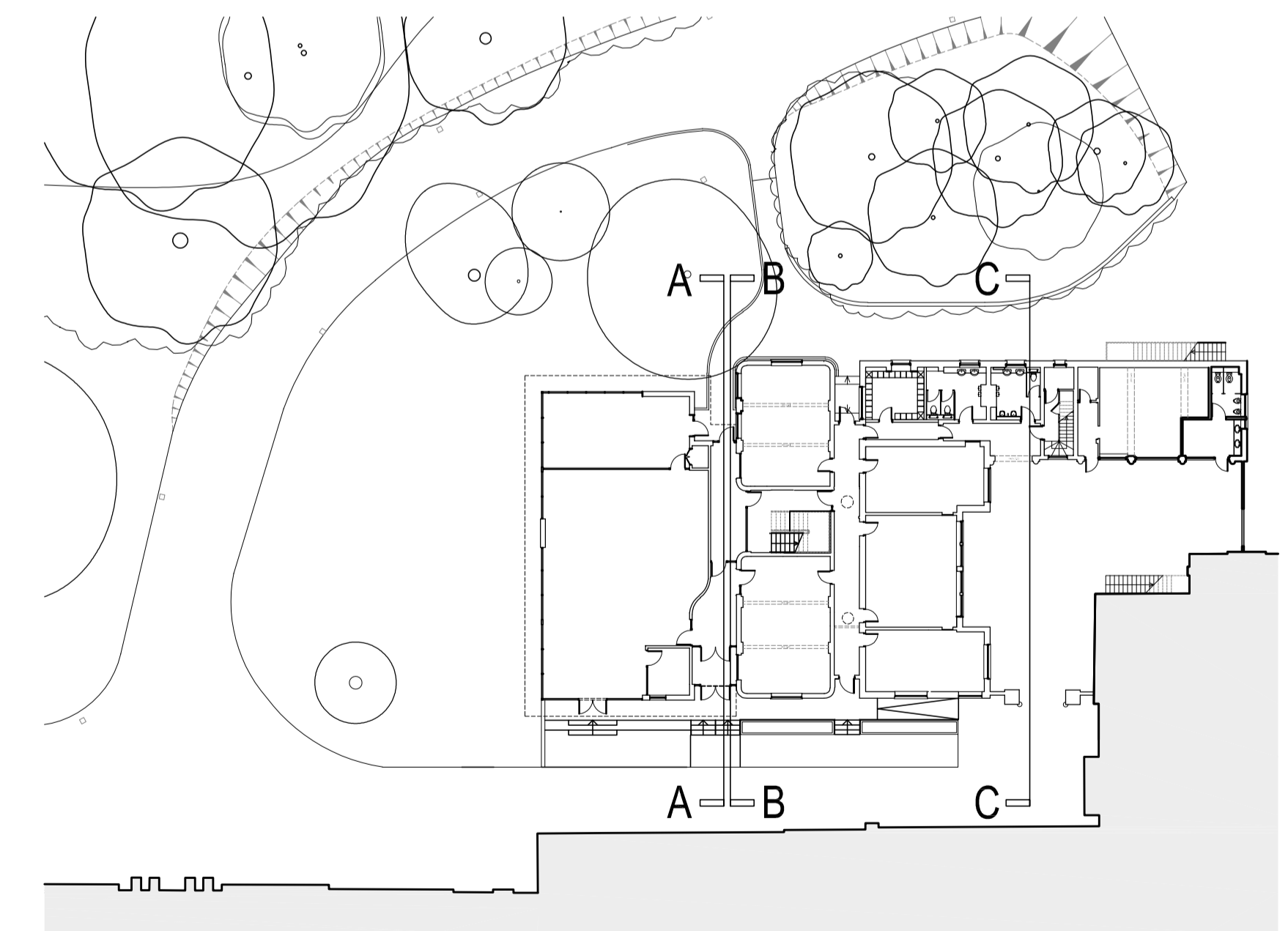
Sectional Elevation A-A



Sectional Elevation B-B

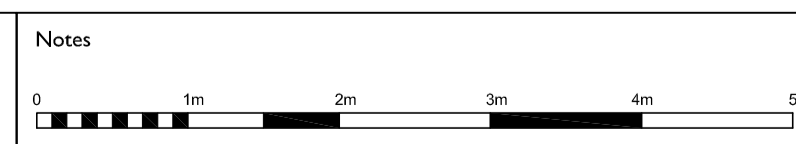


Elevation C-C



Key Plan
NTS

Note:
Do not scale this drawing.
All levels and dimensions are to be checked on site.
This drawing is to be read in conjunction with all relevant consultants' requirements, drawings and specifications.
Any discrepancies between consultants' drawings to be reported to the Contract Administrator before any relevant work commences.

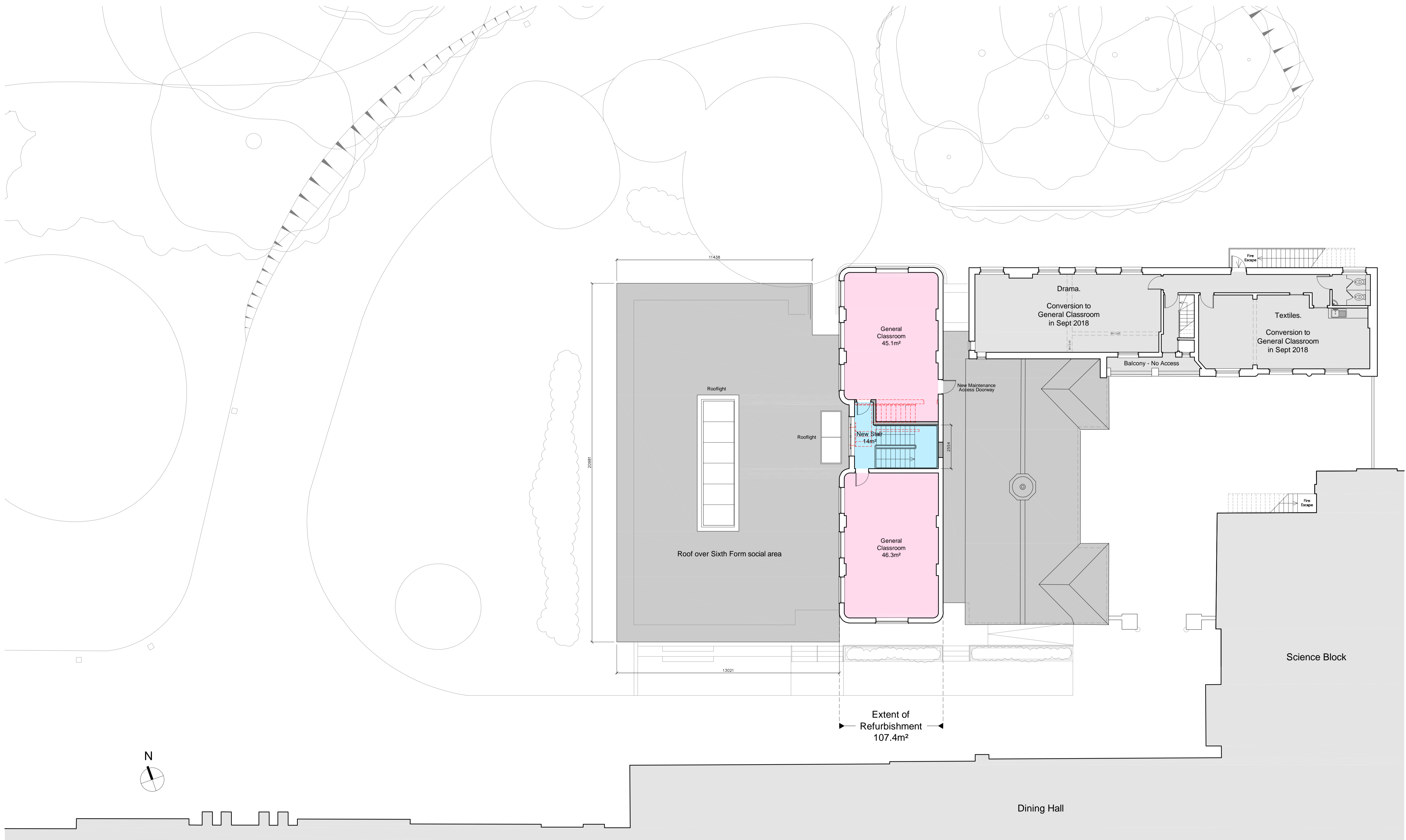


PHASE 1: NEW SIXTH FORM CENTRE

Rev	Date	Description	Drawn	Checked	Status
A	31.01.18	First Issue - PLANNING APPLICATION	AZ/PSH	IDH	
B	27.04.18	Minor alterations to proposed extension, replacement windows to existing building changed	AZ	IDH	

PLANNING	Dunottar School Phased Development Proposal	
	Phase I: Sectional Elevations	
	Scale 1:50 @ A1	Job 4586
	Drawn AD 213	Rev B

MILLERBOURNE
ARCHITECTS
332 Kingsway
Hove, East Sussex
BN3 4QW
T: 01273 411399
design@miller-bourne.co.uk

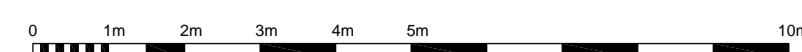


First Floor

Note:
Do not scale this drawing.
All levels and dimensions are to be checked on site.
This drawing is to be read in conjunction with all relevant consultants' requirements, drawings and specifications.
Any discrepancies between consultants' drawings to be reported to the Contract Administrator before any relevant work commences.

Copyright: 2018 Miller Bourne ©

Notes
1:100



See drawing AD216 for fire place information.

- New Walls
- Removed
- General Classroom
- Circulation

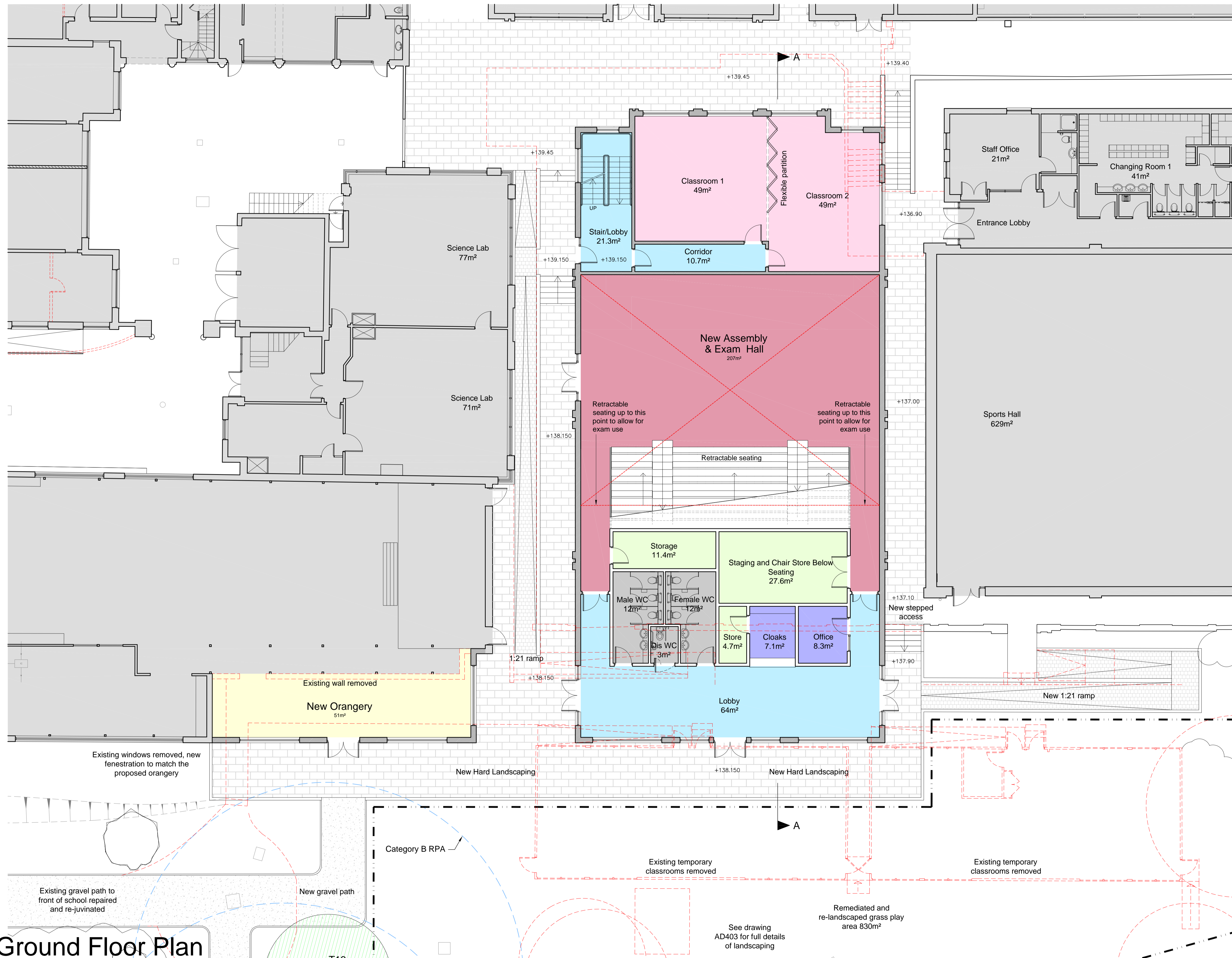
PHASE 1: NEW SIXTH FORM CENTRE

Rev	Date	Description	Drawn	Checked	Status
A	31.01.18	First Issue - PLANNING APPLICATION	AZ	IDH	PLANNING
B	09.04.18	Textiles room extension no longer taking place - PLANNING APPLICATION	PSH	PSH	

Dunottar School
Phased Development Proposal
Phase 1:
Proposed First Floor Plan

Scale: 1:100 @ A1
Job: 4586
Dwg: AD 208
Rev: B

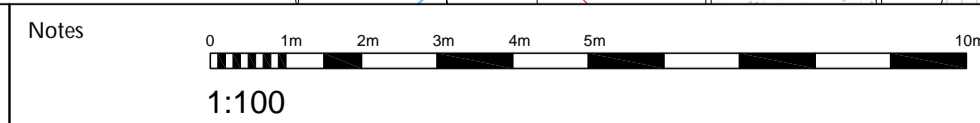
MILLERBOURNE
ARCHITECTS
332 Kingsway
Hove, East Sussex
BN3 4QW
T: 01273 411399
design@miller-bourne.co.uk



GROSS INTERNAL FLOOR AREA	
Low Gr Floor	37 m ²
Ground Floor	554 m ²
First Floor	187 m ²
Total	778 m²

Ground Floor Plan

Note:
Do not scale this drawing.
All levels and dimensions are to be checked on site.
This drawing is to be read in conjunction with all relevant consultants' requirements, drawings and specifications.
Any discrepancies between consultants' drawings to be reported to the Contract Administrator before any relevant work commences.

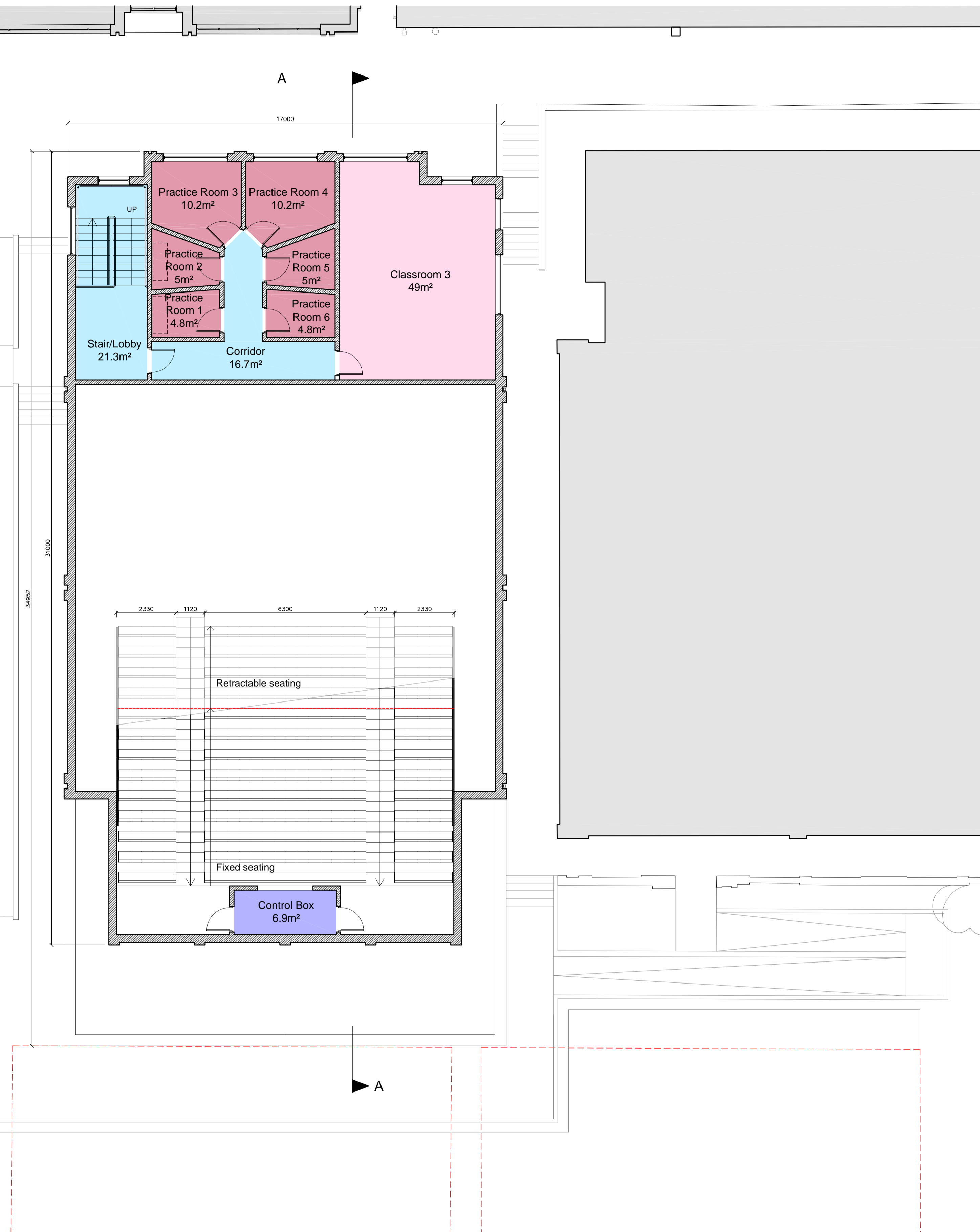


- New Walls
- Removed
- General Classroom
- Music/Drama
- Circulation
- Staff & Administration Areas
- Orangery
- WC
- Storage

Rev	Date	Description	Drawn	Checked	Status
A	31.01.18	First Issue - PLANNING APPLICATION	AZ	IDH	PLANNING

Dunottar School Phased Development Proposal			
Phase 2: Proposed Ground Floor Plan			
Scale	Job	Dwg	Rev
1:100 @ A1	4586	AD 308	A

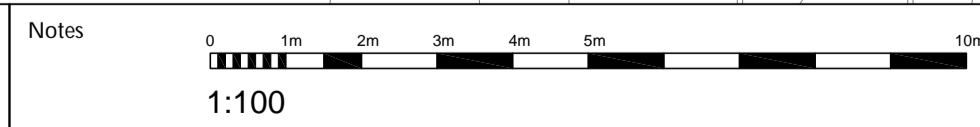
MILLERBOURNE ARCHITECTS
332 Kingsway
Hove, East Sussex
BN3 4QW
T: 01273 411399
design@miller-bourne.co.uk



GROSS INTERNAL FLOOR AREA	
Low Gr Floor	37 m ²
Ground Floor	554 m ²
First Floor	187 m ²
Total	778 m²

First Floor Plan

Note:
Do not scale this drawing.
All levels and dimensions are to be checked on site.
This drawing is to be read in conjunction with all relevant consultants' requirements, drawings and specifications.
Any discrepancies between consultants' drawings to be reported to the Contract Administrator before any relevant work commences.

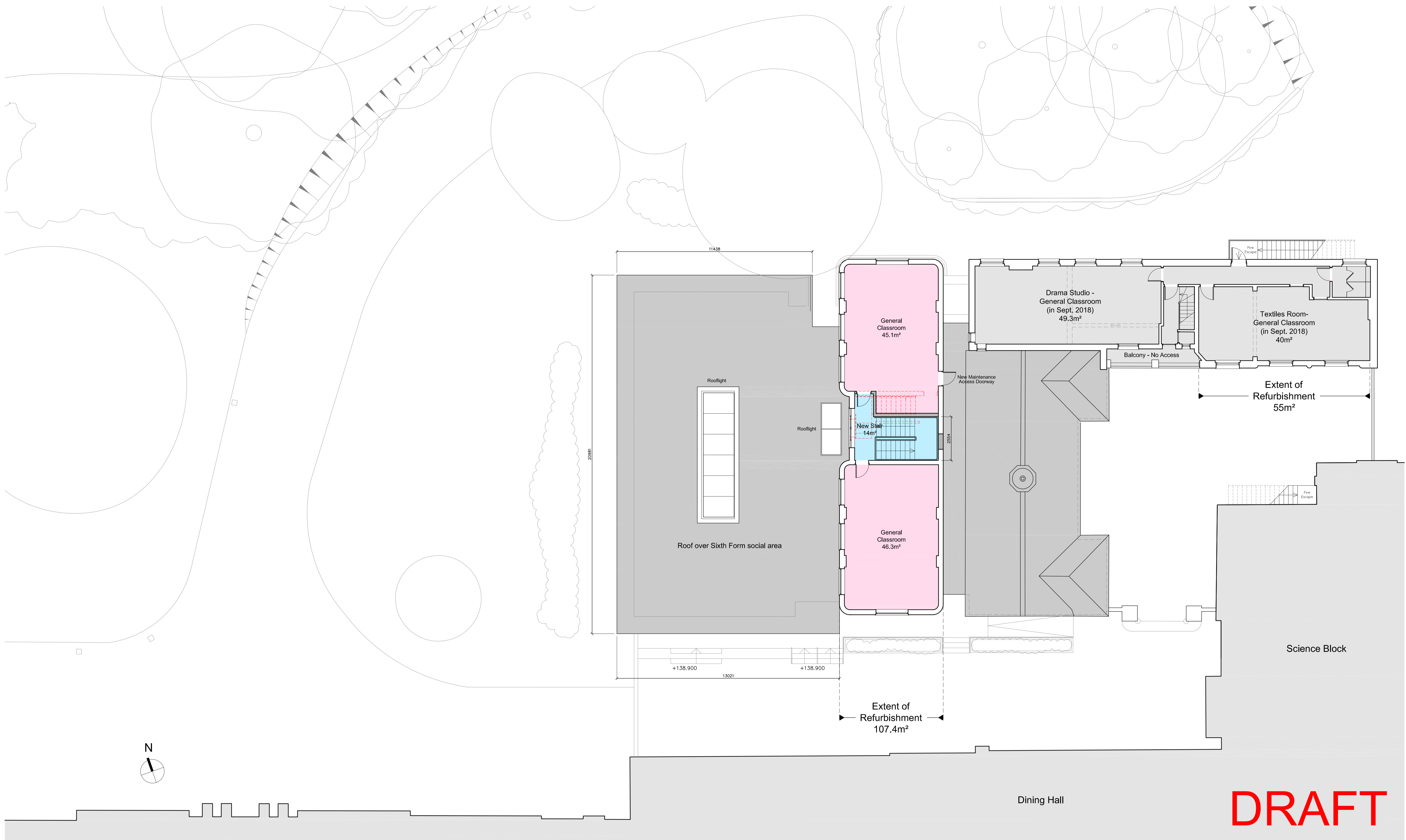


- New Walls
- Removed
- General Classroom
- Music/Drama
- Circulation
- Staff & Administration Areas
- Orangery
- WC
- Storage

Rev	Date	Description	Drawn	Checked	Status
A	31.01.18	First Issue - PLANNING APPLICATION	AZ	IDH	PLANNING
-					

Dunottar School Phased Development Proposal			
Phase 2: Proposed First Floor Plan			
Scale	Job	Dwg	Rev
1:100 @ A1	4586	AD 309	A

MILLERBOURNE ARCHITECTS
 332 Kingsway
 Hove, East Sussex
 BN3 4QW
 T: 01273 411399
 design@miller-bourne.co.uk



DRAFT

First Floor

Note:
Do not scale this drawing.
All levels and dimensions are to be checked on site.
This drawing is to be read in conjunction with all relevant consultants' requirements, drawings and specifications.
Any discrepancies between consultants' drawings to be reported to the Contract Administrator before any relevant work commences.

Copyright: 2018 Miller Bourne ©

Notes
1:100

→ VI Form Entrance → Senior School Entrance

PHASE 1: NEW SIXTH FORM CENTRE

New Walls	Staff & Administration Areas
Removed	Photographic Studio
General Classroom	WC
VI Form Study Room	Storage
VI Form Common Room	

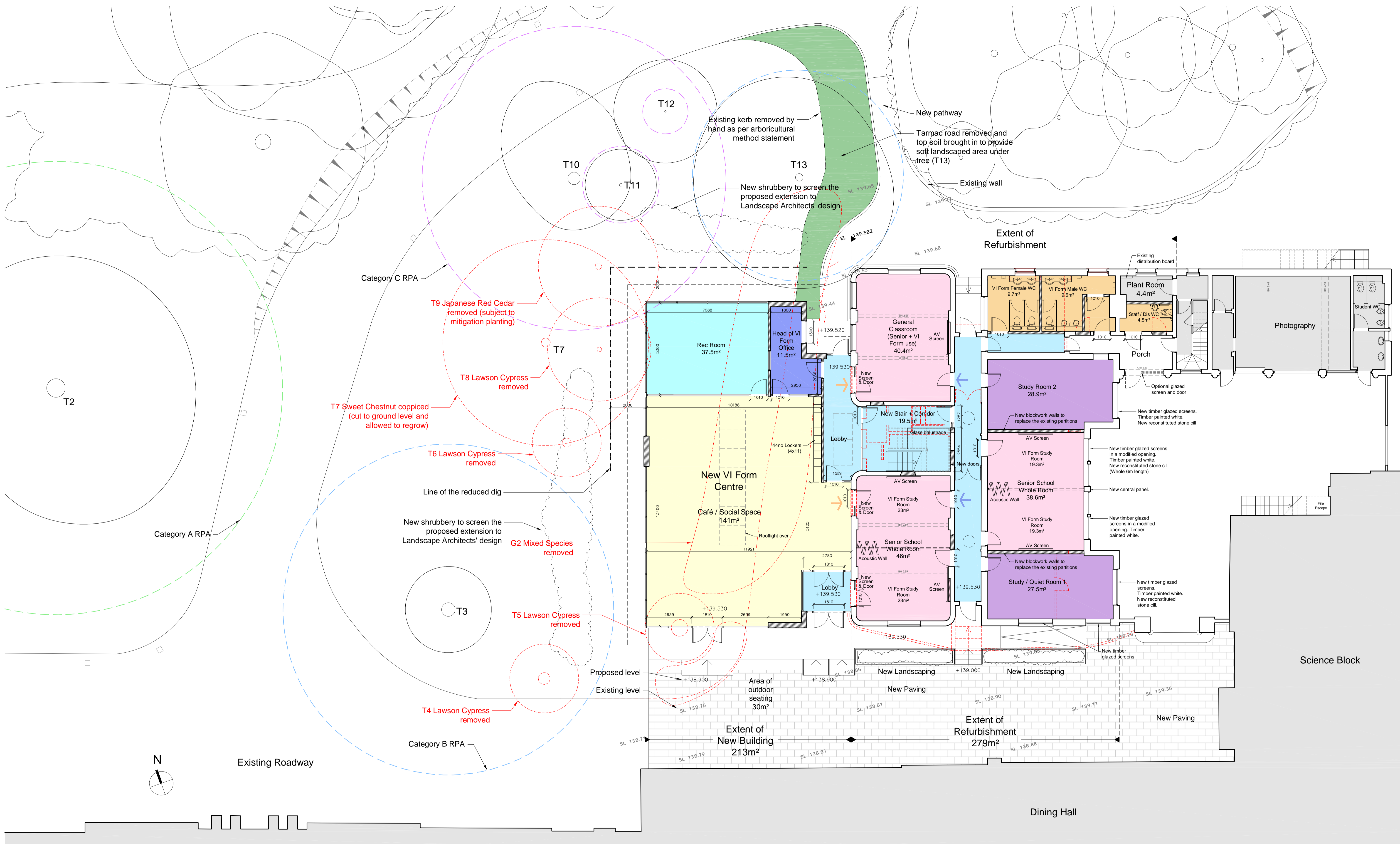
Rev	Date	Description	Drawn	Checked	Status
A	10/06/2018	First Issue	AZ	IDH	PRELIMINARY

Dunottar School
Phased Development Proposal
Phase I:
Proposed First Floor Plan

Scale: 1:100 @ A1
Job: 4586
Dwg: SK03
Rev: A

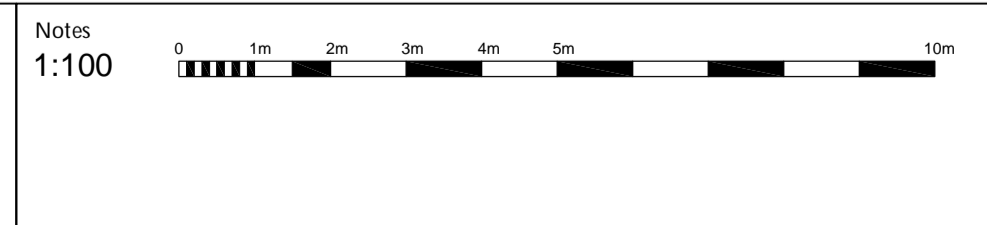
MILLERBOURNE
ARCHITECTS

332 Kingsway
Hove, East Sussex
BN3 4QW
T: 01273 411399
design@miller-bourne.co.uk



Ground Floor

Notes:
 Do not scale this drawing
 All levels and dimensions are to be checked on site.
 This drawing is to be read in conjunction with all relevant consultants' requirements, drawings and specifications.
 Any discrepancies between consultants' drawings to be reported to the Contract Administrator before any relevant work commences.



- New Walls
- Removed
- General Classroom
- VI Form Study Room
- VI Form Common Room
- Staff & Administration Areas
- Circulation
- WC
- Storage

Rev	Date	Description	Drawn	Checked	Status
A	18.01.18	First Issue	AZ	IDH	
B	31.01.18	PLANNING APPLICATION	AZ	IDH	
C	09.04.18	Amendments following staff feedback - PLANNING APPLICATION	PSH	IDH	

PLANNING

Dunottar School
 Phased Development Proposal
 Phase 1:
 Proposed Ground Floor Plan

Scale: 1:100 @ A1 Job: 4586 Dwg: AD 207 Rev: C

MILLERBOURNE ARCHITECTS

332 Kingsway
 Hove, East Sussex
 BN3 4QW
 T: 01273 411399
 design@miller-bourne.co.uk



Note:
Do not scale this drawing.
All levels and dimensions are to be checked on site.
This drawing is to be read in conjunction with all relevant consultants' requirements, drawings and specifications.
Any discrepancies between consultants' drawings to be reported to the Contract Administrator before any relevant work commences.

Notes
3D views are for illustrative purposes only.

Rev	Date	Description	Drawn	Checked	Status
A	31.01.18	First Issue - PLANNING APPLICATION	AZ	IDH	
-					

PLANNING	Dunottar School Phased Development Proposal		Scale NTS @ A1	Job 4586	Drawn AD 502	Rev A
	Phase 2: Proposed 3D Views					

MILLERBOURNE
ARCHITECTS
332 Kingsway
Hove East Sussex
BN3 4CW
T: 01273 411399
design@millier-bourne.co.uk



Phase 1 - New VI Form Centre
Entrance View, South-West



Phase 1 - New VI Form Centre
Rear View, North-West



Phase 2 - Assembly + Exam Hall Foreground
Entrance View, South



Phase 2 - Orangery Foreground
Entrance View, South-West

Note:
Do not scale this drawing.
All levels and dimensions are to be checked on site.
This drawing is to be read in conjunction with all relevant consultants' requirements, drawings and specifications.
Any discrepancies between consultants' drawings to be reported to the Contract Administrator before any relevant work commences.

Notes
3D views are for illustrative purposes only.

Copyright: 2018 Miller Bourne ©

Rev	Date	Description	Drawn	Checked	Status
A	31.01.18	First Issue - PLANNING APPLICATION	AZ	IDH	PLANNING
-					

Dunottar School
Phased Development Proposal
Phases 1 & 2:
Proposed 3D Views

Scale: NTS @ A1
Job: 4586
Draw: AD 501
Rev: A

MILLERBOURNE
ARCHITECTS

332 Kingsway
Hove East Sussex
BN3 4CW
T: 01273 411399
design@miller-bourne.co.uk